



BARRINGTON
Be Inspired

**NOTICE OF A SPECIAL PUBLIC MEETING
OF THE ARCHITECTURAL REVIEW COMMISSION**

The Architectural Review Commission of the Village of Barrington will hold a special meeting on **Thursday, July 23, 2020 at 6:00 P.M. virtually** at 200 South Hough Street, Barrington, Illinois.

ZOOM Meeting Link Available Here:
<https://www.barrington-il.gov/july23arc>

Or Telephone:

Dial(for higher quality, dial a number based on your current location):
US: +1 312 626 6799 or +1 301 715 8592 or +1 646 558 8656 or +1 346 248 7799
or +1 669 900 9128 or +1 253 215 8782

Webinar ID: 850 7552 4374

PUBLIC COMMENT: As the Village of Barrington continues to follow social distancing requirements during the COVID-19 crisis, public comments will be accepted by email and phone call only. Public comments received by 5:00 p.m., Thursday July 23, 2020 will be read at the beginning of the meeting following roll call. To submit public comment, submit an email to: jtennant@barrington-il.gov including:

- Name
- Street Address (Optional)
- City
- State
- Phone (Optional)
- Organization, Agency, etc. Being Represented (If representing yourself, put "Self")
- Topic or Agenda Item, Followed by your comment

Public with no access to email may leave a message with the Architectural Review Commission at (847) 304-3462.

AGENDA:

- **Call to Order**
- **Roll Call**
- **Old Business**
 - **ARC 20-12: 229 W. Lincoln Avenue – Public Hearing**
The Petitioner is seeking a Certificate of Appropriateness for a rear second floor addition to the existing contributing primary structure.

VILLAGE HALL
200 S. HOUGH ST.
BARRINGTON, IL. 60010
(847) 304-3400

VILLAGE PRESIDENT &
VILLAGE MANAGER'S OFFICE
T. (847) 304-3444
F. (847) 304-3490

FINANCIAL SERVICES
T. (847) 304-3400
F. (847) 381-7506

DEVELOPMENT SERVICES
T. (847) 304-3460
F. (847) 381-1056

PUBLIC WORKS
300 N. RAYMOND AVE.
BARRINGTON, IL 60010
T. (847) 381-7903
F. (847) 382-3030

PUBLIC SAFETY
400 N. NORTHWEST HWY.
BARRINGTON, IL 60010

POLICE
T. (847) 304-3300
F. (847) 381-2165

FIRE
T. (847) 304-3600
F. (847) 381-1889

BARRINGTON-IL.GOV

- **New Business**
 - **ARC 20-18: 1201-1203 S. Northwest Highway – Preliminary Review**
The Petitioner is seeking approval of a Certificate of Approval for exterior façade modifications to the existing commercial building.
- **Approval of Minutes**
 - June 11, 2020
- **Planner’s Report**
- **Other Business**
- **Adjournment**

Posted: Barrington Village Hall

Architectural Review Commission Members, Village President and Board of Trustees, Village Manager, Department Heads, Recording Secretary, Courier / Herald / Chicago Tribune / Chicago Sun Times

The Village of Barrington is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the Village’s facilities, are requested to contact the Village Clerk’s Office at 200 S. Hough Street, Barrington, Illinois 60010 or call at 847/304-3400 promptly to allow the Village to make reasonable accommodations for those persons.

VILLAGE HALL
200 S. HOUGH ST.
BARRINGTON, IL. 60010
(847) 304-3400

VILLAGE PRESIDENT &
VILLAGE MANAGER’S OFFICE
T. (847) 304-3444
F. (847) 304-3490

FINANCIAL SERVICES
T. (847) 304-3400
F. (847) 381-7506

DEVELOPMENT SERVICES
T. (847) 304-3460
F. (847) 381-1056

PUBLIC WORKS
300 N. RAYMOND AVE.
BARRINGTON, IL 60010
T. (847) 381-7903
F. (847) 382-3030

PUBLIC SAFETY
400 N. NORTHWEST HWY.
BARRINGTON, IL 60010

POLICE
T. (847) 304-3300
F. (847) 381-2165

FIRE
T. (847) 304-3600
F. (847) 381-1889

BARRINGTON-IL.GOV



BARRINGTON
Be Inspired.

ARCHITECTURAL REVIEW COMMISSION STAFF REPORT

TO: Architectural Review Commission	MEETING DATE: July 23, 2020 Public Hearing
FROM: Development Services Department	PREPARED BY: Jennifer Tennant Asst. Director of Development Services

ARC 20-12: 229 W. Lincoln Avenue – HISTORIC/CONTRIBUTING

The Petitioner is seeking approval of a Certificate of Appropriateness for a second story rear addition to the existing contributing structure in the Historic Overlay District. The property is zoned R-6 Single-Family Residential District and is located in the H-Historic Overlay District. The subject property is approximately 8,448 sq. ft. All plans are subject to a final building, engineering and zoning review and approval prior to the issuance of a building permit.

PROPERTY OWNER: Adam & Carrie Kalita, 229 W. Lincoln Avenue, Barrington, IL 60010
APPLICANT: Adam & Carrie Kalita, 229 W. Lincoln Avenue, Barrington, IL 60010
ARCHITECT: Muran Architects, Inc.

6/25/2020 Preliminary Review Comments:

- 1. The proposed addition should be reduced in width by 6" on each side.**
The final plans reflect this modification. Staff finds that this comment has been addressed.
- 2. Carefully consider the proportions of the transom window on the east elevation.**
The transom windows on the east elevation have been modified to more closely resemble the first floor transom windows. Staff finds that this comment has been addressed.
- 3. All materials must be labeled on the final plans.**
Staff finds that this comment has been addressed.

FINDING OF FACT

In considering an application for a Certificate of Appropriateness for alteration of a contributing structure, the Architectural Review Commission, or the Zoning Official, for administrative decision, shall find that the project substantially complies with all of the following general standards per Zoning Ordinance Section 9.8-G that pertain to the application and that the decision is in the best interest of the Village:

- 1. A property shall be used for its historic purpose or be used for a purpose that requires minimal change to the defining characteristics of the building and its site and environment.**
The property was originally and is currently utilized as a single-family residence. Staff finds that this standard is met.
- 2. The historic character and architectural design of a property shall be retained and preserved. The**

removal and replacement of historic materials shall be permitted provided these materials shall be replaced with like materials in design, dimension, profile and texture. Re-creation of false details that are not original to the structure or the architectural style of the structure shall not be permitted.

Aside from the addition, *the only modification proposed to the original structure is the removal of one window on the west elevation to be replaced with two windows.* No modifications to the existing materials on the original portion of the structure is proposed. The materials on the addition will match those on the original structure. Staff finds that this standard is met.

- 3. All sites, structures and objects shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create a false sense of history or architecture are not allowed.**

The Petitioner is proposing a rear addition to the second story. The addition will be constructed similar to a dormer and the original roofline will still be evident due to the architectural style of the house. The Design Guidelines discourage the addition of a new story but this home does already has a second story and the dormer-like addition will not extend past the ridge of the original structure. Staff finds that this standard is met.

- 4. Alterations or additions that have acquired historic significance in their own right shall be retained and preserved or re-created.**

The Petitioner is proposing to remove the existing rear dormer and replace it with the new larger dormer-like addition. It does not appear as though the rear dormer has acquired any particular historical significance of its own. Staff finds that this standard is met.

- 5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved or re-created. The removal and replacement of historic materials shall be permitted provided these materials are replaced with like materials in design, dimension, profile and texture.**

The Petitioner is not proposing any modifications to the original portion of the structure with the exception *of the removal of one window on the west elevation to be replaced with two windows.* Staff finds that this standard is not applicable.

- 6. Deteriorated architectural features may be replaced provided these materials are replaced with like materials in design, dimension, profile and texture. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.**

The Petitioner is not proposing any modifications to the original portion of the structure with the exception *of the removal of one window on the west elevation to be replaced with two windows.* Staff finds that this standard is not applicable.

- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.**

No chemical or physical treatments are proposed. Staff finds that this standard is met.

- 8. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archaeological materials, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.**

The Petitioner is proposing to construct a second story rear addition in a dormer-like fashion. This design

ensures that the height of the addition does not exceed the ridge of the original structure. Staff finds that the proposed addition is in keeping with the size and scale of the original structure. And is compatible with the character of the property by keeping the original roofline intact. *At the 6/25/20 preliminary review meeting, the ARC determined that the width of the dormer addition should be reduced in width by 6" on each side. The final plans reflect this modification.* Staff finds that this standard is met.

- 9. Additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired. The new work shall be differentiated from the old and shall be compatible in massing, size, scale and architectural features to protect the historic integrity of the property and its environment.**

The proposed addition is designed in a dormer-like fashion and does not impair the original form of the structure and the original roofline will still be evident. The proposed addition is of a compatible mass and scale to the original structure as the height of the addition does not exceed the ridge of the original roof line. *At the 6/25/20 preliminary review meeting, the ARC determined that the width of the dormer addition should be reduced in width by 6" on each side in order to have appropriate massing for the architectural style of the home. The final plans reflect this modification* Staff finds that this standard is met.

- 10. Building materials inappropriate to the style and period of the building, such as vinyl or aluminum cladding, shall be prohibited. All roof materials shall be architectural asphalt shingles, cedar shake, slate or other historically accurate roofing material. All materials shall be subject to the Historic Overlay District Design Guidelines.**

The Petitioner has proposed the following materials that he intends to use for the addition:

SIDING	stucco to match existing. OK.
TRIM	wood. OK.
GUTTERS	half-round to match existing. OK.
SHINGLES	architectural shingles. OK.
WINDOWS	<i>wood windows to match existing – final window selection must be provided at the time of permit submittal. An approved historically dimensioned window must be utilized.</i>
DOORS	N/A
CHIMNEY	N/A
PORCH	N/A
OTHER	N/A

All material information, including window specifications, must be labeled on the final submittal.

- 11. Additional design standards adopted by the Architectural Review Commission and Village Board of Trustees.**

Staff finds that the proposed project is in general compliance with the Historic District Design Guidelines.

STAFF RECOMMENDATIONS

The ARC should consider the following items and provide guidance to the Petitioner prior to the final review of ARC 20-12:

- All new window casing and sill details must match the existing details.
- The final window selection must be provided at the time of permit submittal. An approved historically dimensioned window must be utilized.
- All plans are subject to final building, engineering and zoning review prior to the issuance of a building permit.

Motion: If the Architectural Review Commission concurs with Staff's findings, conditions and required final details, Staff recommends that the Architectural Review Commission adopt these findings as their own and make a motion to approve ARC 20-12 subject to any additional conditions, recommendation or required final details.

229 W. Lincoln Avenue – Contributing



ARC 05-06 – demolish existing detached garage and reconstruct a new detached garage as well as remodel existing front porch

Located at 229 W. Lincoln Avenue is a one-and-one-half-story side-gabled Craftsman dwelling built ca. 1920. The house has a roof of asphalt shingles, an interior brick chimney and an original exterior of stucco. On the main (N) elevation is an original gable roof porch enclosed with four-over-one, vertical-light double hung wood sash windows. The main entrance has an original, four-light glass and wood door with original, narrow, two-light glass and wood sidelights and an original, four-light transom. Windows in the dwelling are original, three-over-one-vertical light double hung wood sash with wood surrounds. On the main façade roofline is a large shed roof dormer with a set of four, two-over-one double hung wood sash windows. On the east elevation is a projecting, hipped roof bay with four, narrow, single-light windows with two-light transoms. Adjacent to this bay is a row of three, three-vertical-light glass and wood windows. The dwelling and enclosed porch have exposed roof rafters and knee brace brackets at the eaves.

To the rear of the dwelling is an original, gable front, frame garage with a front gable roof of asphalt shingles, an exterior of wood shingles and two, triple-sectioned, four-light and four-rectangular-wood-panel sliding garage doors. In the gable field is a four-light fixed attic window with a wood surround. **Contributing**



June 16, 2020

Barrington Architectural Review Commission
(Historic Overlay District)

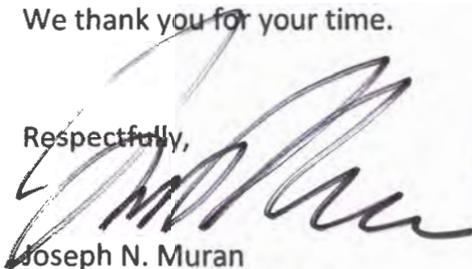
RE: Addition and Alterations to Kalita Residence
229 W. Lincoln Avenue
Barrington, IL

Adam and Carrie Kalita are proposing to construct a new second floor dormer on the rear facing (south side) of their Arts and Crafts style home located at their address as listed above. The larger dormer will replace a smaller shed roof style dormer that is currently in place there. The dormer will incorporate a new remodeled second floor plan as shown in the Architect's Preliminary Plans that are a part of this submittal.

The exterior of the addition will match all existing materials throughout, including stucco siding, (color to match existing), wood windows (color to match existing), wood fascia, soffit and trim materials (colors to match existing) and a completely new architectural dimensional style asphalt shingle roof (color yet to be determined).

We thank you for your time.

Respectfully,

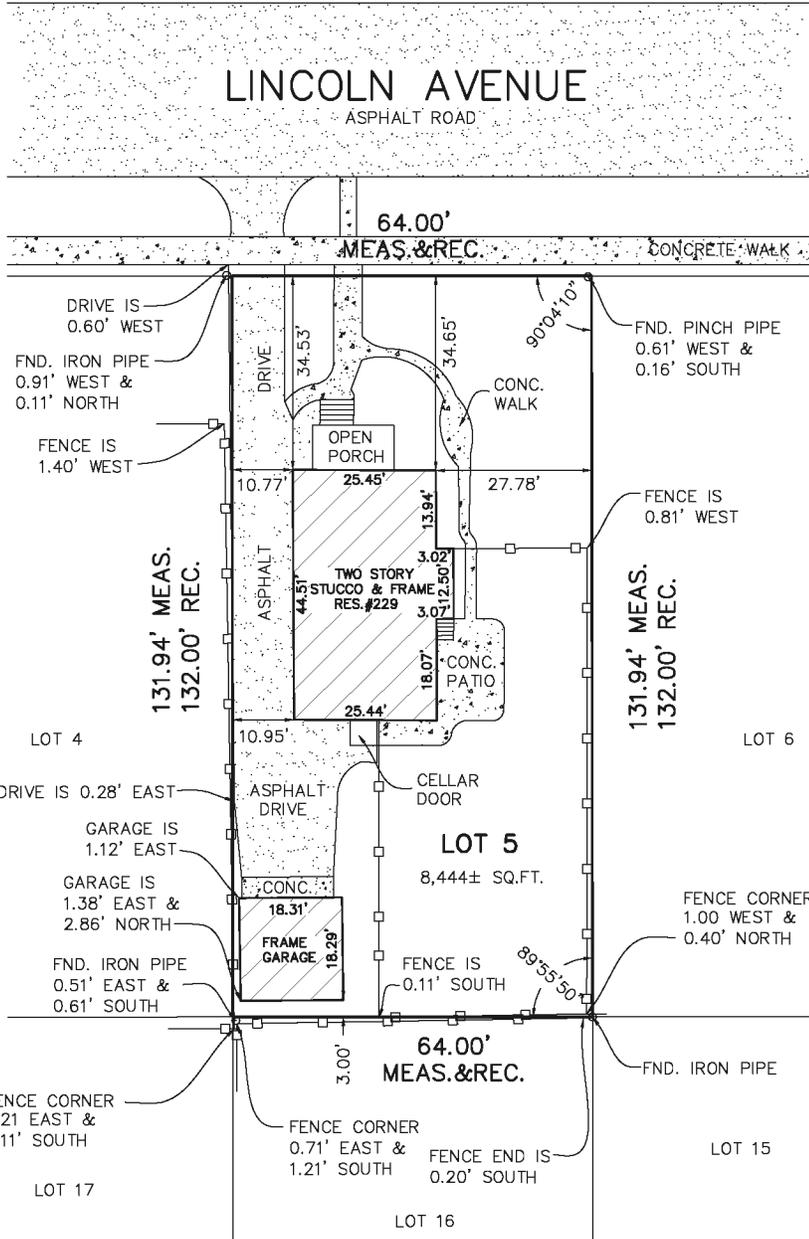
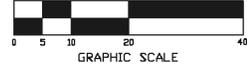


Joseph N. Muran
President, Muran Architects, Inc.



PLAT OF SURVEY

LOT 5 IN MEINER'S ADDITION TO BARRINGTON, BEING A SUBDIVISION OF LOTS 56 AND 57 IN THE COUNTY CLERK'S RESUBDIVISION OF PARTS OF THE ASSESSOR'S DIVISION OF THE WEST 1/2 OF THE NORTHWEST 1/4 AND THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 AND THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 1, TOWNSHIP 42 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



PROPERTY ADDRESS: 229 W. LINCOLN AVENUE, BARRINGTON, IL. 60010

CLIENT: KELLEHER & BUCKLEY (SUTTON)

PROPERTY LINES, INC.

4706 GREGORY STREET
MCHENRY, IL. 60051

A PROFESSIONAL LAND SURVEYING
AND MAPPING COMPANY

Design Firm Lic# 184-D04381

PHONE (815)-578-9646

FAX (815)-578-9647

ORDER NO. 14-00344

COMPARE ALL POINTS AND REPORT ANY
DIFFERENCE AT ONCE.

BUILDING LINES AND EASEMENTS ARE SHOWN
ONLY WHERE THEY ARE SO RECORDED IN THE
MAPS. REFER TO YOUR DEED, ABSTRACT,
TITLE POLICY OR BUILDING COMMISSIONER.

DIMENSIONS ARE SHOWN IN FEET AND DECIMAL
PARTS THEREOF.

NO DIMENSION IS TO BE ASSUMED BY SCALING
THIS PLAT.

THIS PLAT IS NOT VALID WITHOUT EMBOSSED
SURVEYORS SEAL.

FIELD WORK PERFORMED ON DEC 14, 2014.

STATE OF ILLINOIS)
COUNTY OF MCHENRY) S.S.

THIS IS TO CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED
PROPERTY, ACCORDING TO THE OFFICIAL RECORD, AND THE ABOVE
PLAT CORRECTLY REPRESENTS SAID SURVEY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS
MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

STEVEN M. SLOOT

ILLINOIS REGISTERED LAND SURVEYOR NO. 35-D03279
MY PROFESSIONAL LICENSE EXPIRES ON NOVEMBER 30, 2016.









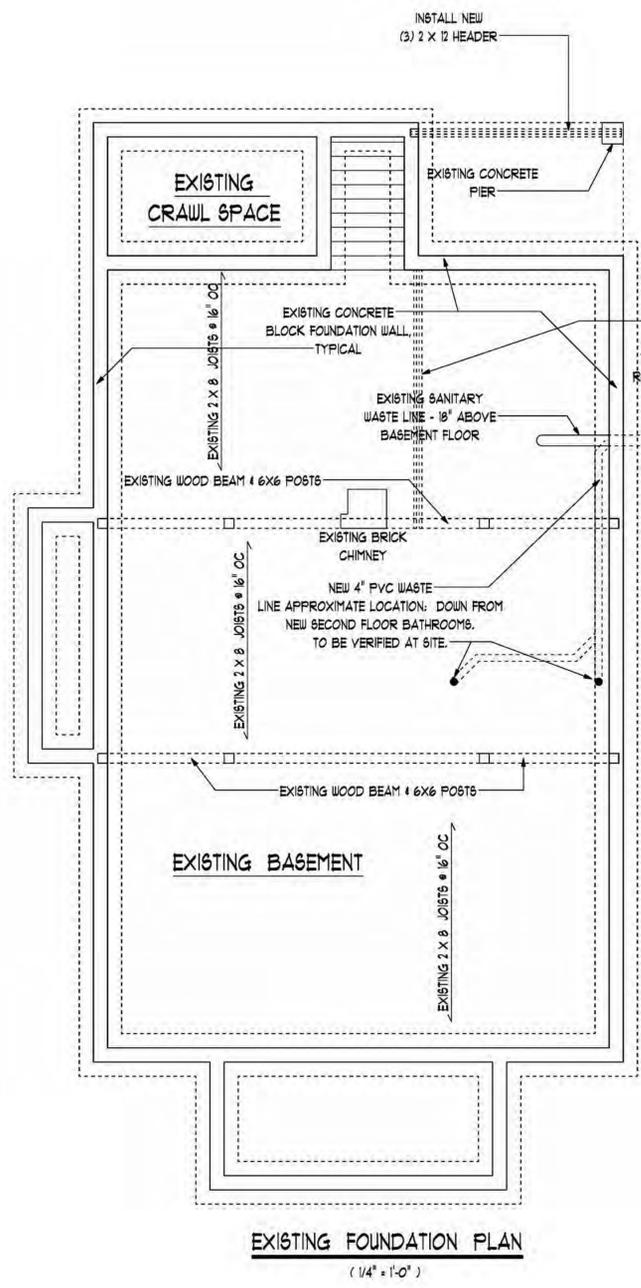




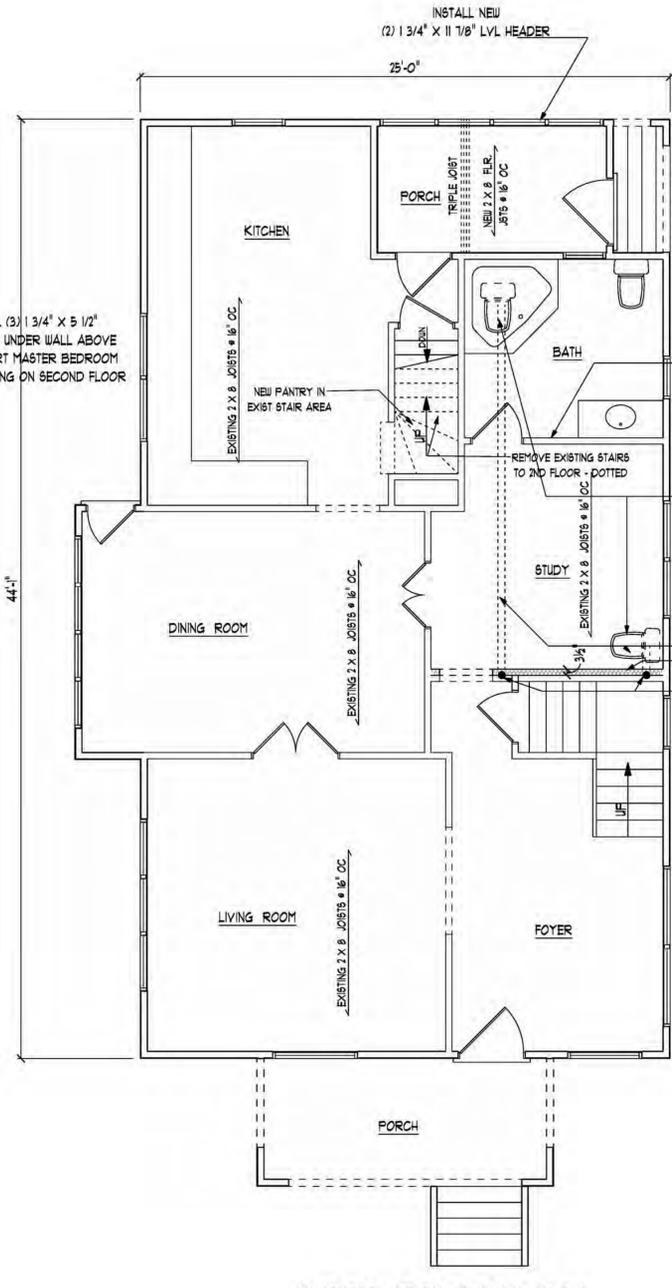




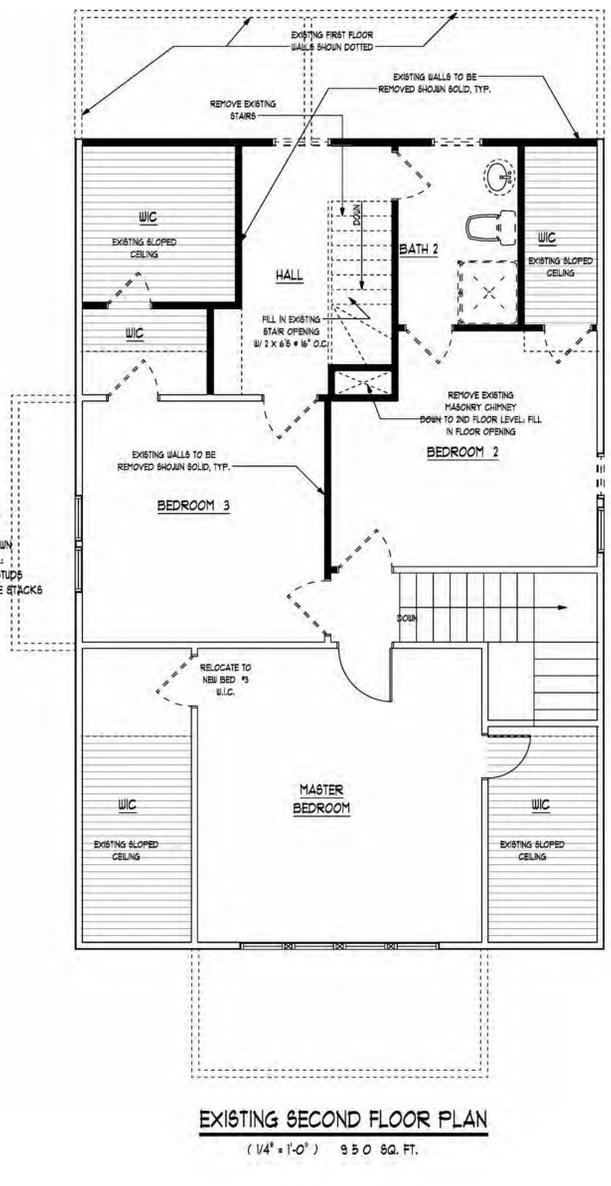
THE ARCHITECT HAS NOT IN ANY WAY BEEN HIRED IN A SUPERVISORY CAPACITY FOR THE CONSTRUCTION OF THIS PROJECT. THEREFORE, THE USE OF THESE DRAWINGS BY THE OWNER OR ANY CONTRACTOR, SUB-CONTRACTOR, BUILDER, TRADESMAN OR WORKMAN SHALL CONSTITUTE A "HOLD HARMLESS AGREEMENT" BETWEEN THE DRAWING USER AND THE ARCHITECT. THE USER SHALL IN FACT AGREE TO HOLD THE ARCHITECT HARMLESS FOR ANY RESPONSIBILITY IN REGARDS TO THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES AND FOR ANY SAFETY PRECAUTIONS OR PROGRAMS IN CONNECTION WITH THE WORK. FURTHER, THE ARCHITECT SHALL BE HELD HARMLESS AGAINST ANY LIABILITY OF ANY KIND WHATSOEVER, OR FOR ANY RESPONSIBILITY IN REGARD TO ANY COSTS OR PROBLEMS ARISING FROM THE NEGLIGENCE OF THE CONTRACTOR, SUB-CONTRACTOR, BUILDER, TRADESMAN OR WORKMAN. THE USE OF THESE DRAWINGS ALSO IMPLIES THAT THE ARCHITECT SHALL ASSUME NO RESPONSIBILITY FOR THE PLAN USERS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DRAWINGS OR CONTRACT DOCUMENTS.



EXISTING FOUNDATION PLAN
(1/4" = 1'-0")



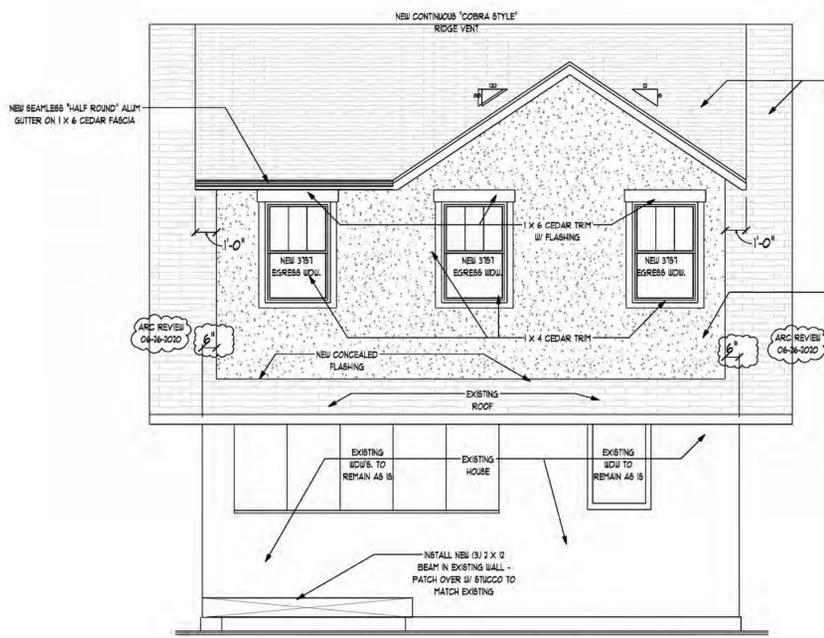
EXISTING FIRST FLOOR PLAN
(1/4" = 1'-0")



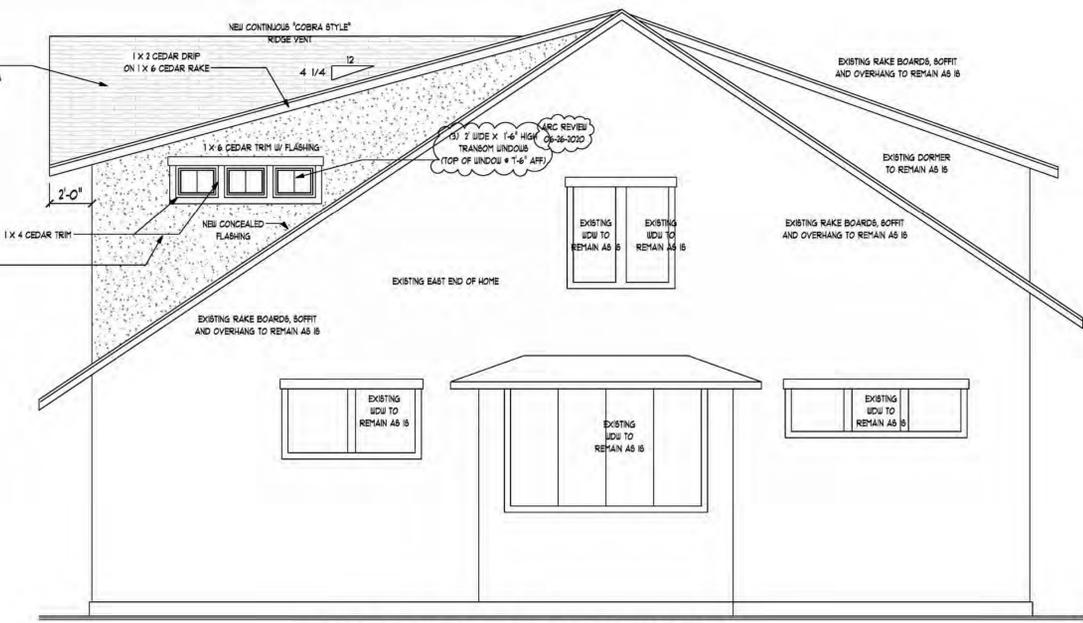
EXISTING SECOND FLOOR PLAN
(1/4" = 1'-0") 950 SQ. FT.

ADDITION & REMODELING FOR:
CARRIE AND ADAM KALITA
229 W. LINCOLN
BARRINGTON, IL

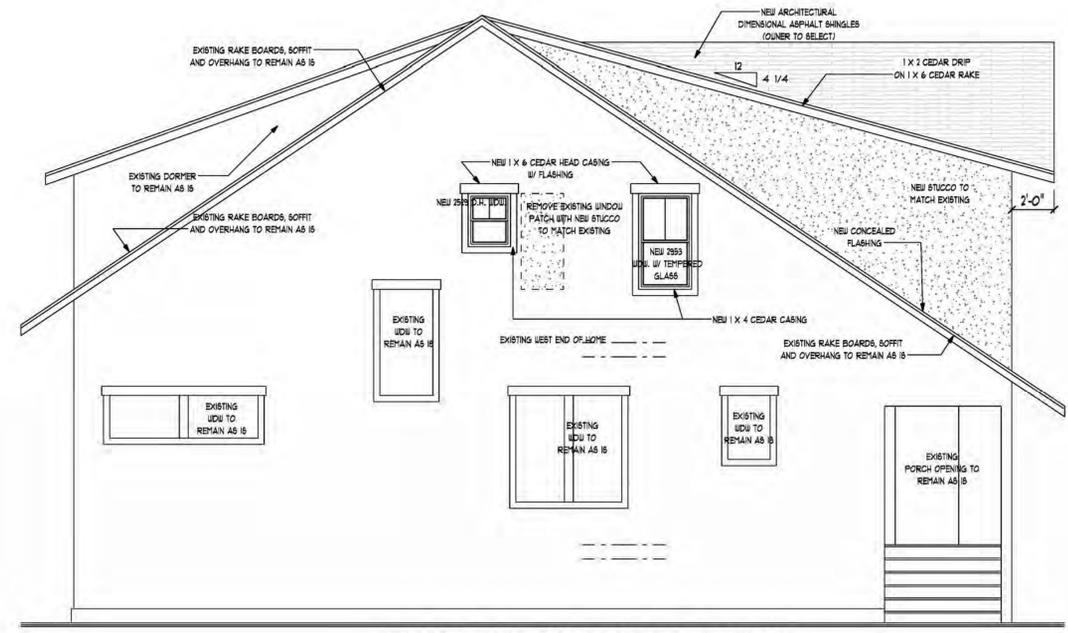
DATE :	04-11-2015
DRAWN BY :	J N MURAN
REVISIONS :	
PRELIM PLAN	02-03-2010
PRELIM PLAN	02-04-2010
PRELIM PLAN	02-27-2010
(ARC REVIEW PLAN)	06-23-2010



BACK ELEVATION DORMER ADDITION
(1/4" = 1'-0")



EAST SIDE ELEVATION DORMER ADDITION
(1/4" = 1'-0")



WEST SIDE ELEVATION DORMER ADDITION
(1/4" = 1'-0")

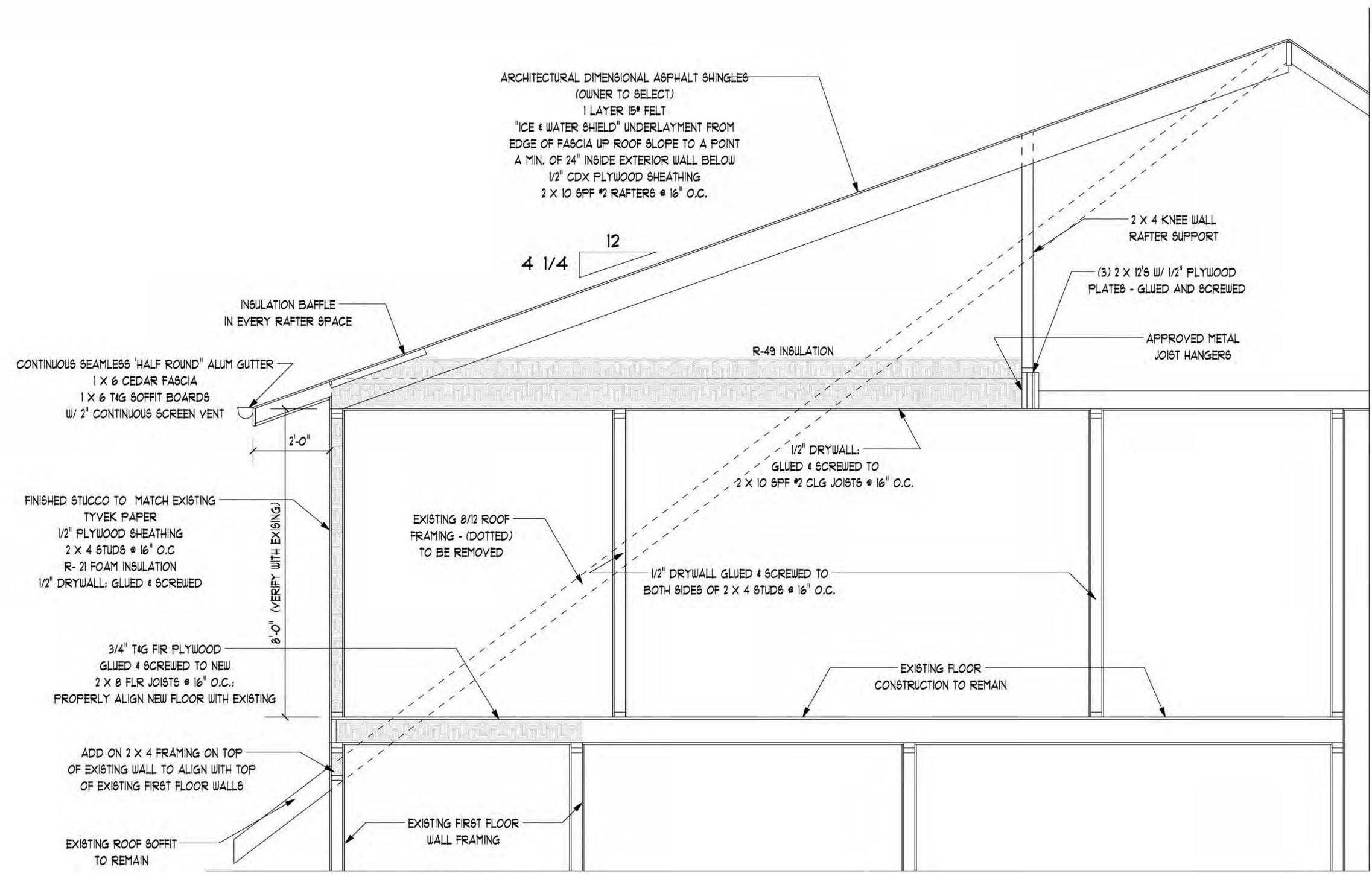
ADDITION & REMODELING FOR:
CARRIE AND ADAM KALITA
229 W. LINCOLN
BARRINGTON, IL

DATE :
04-17-2015

DRAWN BY :
J N MURAN

REVISIONS :

PRELIM PLAN	02-03-2010
PRELIM PLAN	02-04-2010
PRELIM PLAN	02-07-2010
ARC REVIEW PLAN	06-21-2010



ARCHITECTURAL DIMENSIONAL ASPHALT SHINGLES
(OWNER TO SELECT)
1 LAYER 15# FELT
"ICE & WATER SHIELD" UNDERLAYMENT FROM
EDGE OF FASCIA UP ROOF SLOPE TO A POINT
A MIN. OF 24" INSIDE EXTERIOR WALL BELOW
1/2" CDX PLYWOOD SHEATHING
2 X 10 SPF #2 RAFTERS @ 16" O.C.

4 1/4
12

2 X 4 KNEE WALL
RAFTER SUPPORT

(3) 2 X 12'S W/ 1/2" PLYWOOD
PLATES - GLUED AND SCREWED

APPROVED METAL
JOIST HANGERS

R-49 INSULATION

CONTINUOUS SEAMLESS "HALF ROUND" ALUM GUTTER
1 X 6 CEDAR FASCIA
1 X 6 T&G SOFFIT BOARDS
W/ 2" CONTINUOUS SCREEN VENT

INSULATION BAFFLE
IN EVERY RAFTER SPACE

1/2" DRYWALL:
GLUED & SCREWED TO
2 X 10 SPF #2 CLG JOISTS @ 16" O.C.

FINISHED STUCCO TO MATCH EXISTING
TYVEK PAPER
1/2" PLYWOOD SHEATHING
2 X 4 STUDS @ 16" O.C.
R-21 FOAM INSULATION
1/2" DRYWALL: GLUED & SCREWED

EXISTING 8/12 ROOF
FRAMING - (DOTTED)
TO BE REMOVED

1/2" DRYWALL GLUED & SCREWED TO
BOTH SIDES OF 2 X 4 STUDS @ 16" O.C.

EXISTING FLOOR
CONSTRUCTION TO REMAIN

3/4" T&G FIR PLYWOOD
GLUED & SCREWED TO NEW
2 X 8 FLR JOISTS @ 16" O.C.;
PROPERLY ALIGN NEW FLOOR WITH EXISTING

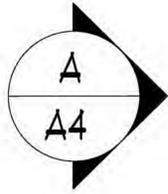
ADD ON 2 X 4 FRAMING ON TOP
OF EXISTING WALL TO ALIGN WITH TOP
OF EXISTING FIRST FLOOR WALLS

EXISTING ROOF SOFFIT
TO REMAIN

EXISTING FIRST FLOOR
WALL FRAMING

DORMER BUILDING SECTION

(3/4" = 1'-0")



ADDITION & REMODELING FOR:
CARRIE AND ADAM KALITA
229 W. LINCOLN
BARRINGTON, IL

DATE :	04-17-2015
DRAWN BY :	J N MURAN
REVISIONS :	
	PRELIM PLAN 01-23-2010
	PRELIM PLAN 02-04-2010
	(ARC REVIEW PLAN) 06-21-2010



BARRINGTON
Be Inspired.

ARCHITECTURAL REVIEW COMMISSION STAFF REPORT

TO: Architectural Review Commission	MEETING DATE: July 23, 2020
FROM: Development Services Department	PREPARED BY: Jennifer Tennant Asst. Director of Development Services

ARC 20-18: 1201-1203 S. Northwest Highway (DSP Honda)

The applicant is seeking approval of a Certificate of Approval for exterior façade modifications to the existing building in the B-1 General Business District.

PROPERTY OWNER: Dobe Agency, LLC
PETITIONER: The Midwest Triumph Corporation of Mundelein
ARCHITECT: CD Group, Construction Design Architects, Ltd. & Construction Design Service, Ltd.

PROJECT DESCRIPTION

The Petitioner is seeking approval of a Certificate of Approval for exterior façade modifications to the existing building in the B-1 General Business District. The Petitioner is proposing to modify the front façade of the building with the corporate branding package for Honda. The rest of the existing building will be painted to complement the corporate color scheme. All plans are subject to a final building, engineering and zoning review and approval prior to the issuance of a building permit.

FINDING OF FACT

In considering an application for a Certificate of Approval in the B-1 Business District, the Architectural Review Commission shall find that the project complies with the design standards in Section 7.2.I of the Zoning Ordinance. Section 7.2.I of the Zoning Ordinance States:

“The B-1 General Business Service District is intended to promote and preserve small-scale, limited shopping and business uses that serve the needs of the people who live and work in the neighborhoods in which the business uses are located. It is also designed to provide an environment for efficient and attractive shopping center development at a community level scale. It is further intended to provide for carefully regulated establishment of automobile and recreational vehicle sales and service and other establishments that, due to their inherent nature, require careful scrutiny in order to assure that they will not have a detrimental effect on adjacent neighborhoods.”

1. **Exterior Wall Materials.** The materials used on exterior elevations (excluding doors, windows and roofing materials) shall be limited to:
 - a. Clay brick (unglazed).
 - b. Stone (natural).
 - c. Wood or cementitious siding.
 - d. Stucco (cementitious material only; no E.I.F.S. [Exterior Insulation Finish Systems]).

The existing building is brick with an asphalt mansard roof. The Petitioner is proposing to paint

the existing brick building, replace the asphalt mansard with standing seam metal and install a new entrance feature with metal cladding. Although metal cladding is not permitted in the B-1 District, the ARC and the Village Board have the authority to approve alternate materials when deemed appropriate for the style of building. Staff finds that a new motorcycle/vehicle dealership is a unique use which warrants the review of alternate materials to suit brand specific requirements. Because the Petitioner is redeveloping the existing brick building the project will benefit from a blend of traditional and modern materials.

2. **Door & Window Materials. No restrictions are placed on door or window materials.**

The Petitioner is proposing to install a new entrance door to create a more prominent entrance to the building. The specifications for the proposed entrance door system must be provided as part of the final submittal. There are no restrictions on door and/or window materials; however, for consistency and cohesiveness, the new entrance door will be aluminum to match the existing storefront window systems. Staff finds that this standard is met subject to the submittal of the entrance door specifications.

3. **Exterior Trim.**

- a. **Trim is required for all doors and windows.**
- b. **Trim materials shall be limited to wood, stone, cast stone, molded fiberglass or molded high density polymer.**
- c. **On masonry buildings, cut stone or pre-cast sills are required for windows; cut stone, pre-cast, or brick lintels are required for doors and windows. Other masonry trim is not required.**

The windows and trim details are all existing. No modifications to existing window or trim details are proposed as part of this project. Staff finds that this standard is not applicable.

4. **Accent Features. Decorative accent features on exterior walls which are subordinate and incidental to the design of the facade shall be limited to wood, stone, cast stone, molded fiberglass or molded high density polymer.**

No accent features are proposed. Staff finds that this standard is not applicable.

5. **Mixed Materials. Materials may be mixed, provided the placement of materials reflects traditional use of such materials, as exemplified below:**

- a. **A wood porch or balcony may be used in combination with stone or brick walls.**
- b. **An extended brick or stone foundation wall may be used in combination with wood walls.**
- c. **A front facade of finished brick or stone may be used in combination with common brick on side and rear walls.**
- d. **A one-story room of wood may project from the main two-story portion of the building made of brick or stone.**
- e. **A fireplace or columns of one material may be combined with walls of another material.**

The Petitioner is proposing to incorporate a new entrance feature with metal panels on the existing brick building along with a new standing seam metal mansard roof to replace the existing asphalt shingles. Given the proposed use of the building as a motorcycle/vehicle dealership, Staff finds that the use of metal panels is very common for dealership buildings in order to comply with corporate branding standards. The project benefits from the reuse of the existing brick building to blend the modern with the traditional.

6. **Exterior Colors.** All colors produced from completely natural materials and unglazed brick shall be permitted. Colors produced through paint or other material coatings shall be restricted.
- a. **Exterior Wall Colors.** Excessively bright or dark colors shall be avoided, and accordingly, the following restrictions shall apply:
 - 1) No color shall be darker than Value 4 in the Munsell color system.
 - 2) No color shall be brighter than Chroma 8 in the Munsell color system.
 - 3) White is permitted; black is not permitted.
 - b. **Trim Material Colors.** Colors shall be compatible to and complementary with, the colors used on the exterior walls.
 - c. **The ARC and/or the Board of Trustees may approve alternate colors schemes if deemed appropriate for the style of the building.**

The Petitioner is seeking approval of a red standing seam metal roof in the Honda corporate colors. The ARC and/or Village Board may approve the deviation from the exterior wall colors. Color samples for the wall paint color and standing metal roof color must be provided as part of the final submittal.

7. **Glazed Surface.**
- a. **At least forty (40) percent of the first floor of the front and corner side facades shall be glazed. A minimum eighteen (18) inch high knee wall shall be required beneath the glazing.**
 - b. **At least thirty (30) percent of upper floor elevations of the front and corner side facades shall be glazed.**
 - c. **At least ten (10) percent of interior side elevations shall be glazed surface, unless prohibited by the Building Code.**
 - d. **First story glass shall be clear and non-tinted; tinting of the second and third story glass shall not vary by more than twenty (20) percent from the adjacent story. No mirrored glass is permitted.**

No modifications to the existing glazing percentages are proposed at this time. The storefront system is existing. Staff finds that this standard is not applicable.

8. **Roof Design.** Mansard or gambrel roofs are not permitted. If a flat roof design is used, the building shall have a cornice along the top of the building. Buildings on lots immediately adjacent to, or across the street from, a residential district are required to have a hip, gable or other sloping roof.

The mansard roof element is existing on the building. The Petitioner is proposing to replace the mansard roof materials with standing seam metal. The rear section of the building that is adjacent to the residential properties has a flat roof design and no modifications to that section of the roof are being proposed. Staff finds that this standard is met.

9. **Roof Materials.** For roofs with shingles, only asphalt, fiberglass, wood or slate are permitted. The building has a flat roof. Staff finds that this standard is not applicable.

10. **Landscaping.** Landscaping shall conform to the requirements of Chapter 4, Part III (Landscape Regulations).

Project landscaping will be reviewed by the Plan Commission as a part of the planned development process to ensure an adequate buffer exists or will be established to meet the

requirements of Chapter, Part III.

11. **Required Plans.** Every application for a building permit shall be accompanied by architectural plans, a site plan and a landscape plan of sufficient detail to show conformance with these Design Standards.

The Petitioner has provided architectural plans and renderings documenting the proposed modifications. Staff finds that this standard is met.

12. **Interpretation of Design Standards.** A building permit for new construction, an addition or exterior remodeling in this B-1 District shall not be issued unless the Architectural Review Commission has determined that the plans submitted conform to the intent and requirements of these Design Standards and to the Appearance Code located in Appendix H of this Ordinance. The Architectural Review Commission and/or Village Board may approve the use of alternate materials if such materials are determined by the Village to be appropriate for the style of building.

In general, Staff finds that the proposed modifications are in conformance with the intent of the B-1 Design Standards and the Appearance Code. The ARC should review the proposed use of alternate materials. Staff finds that the proposed materials are consistent with the proposed use and due to the reuse of the existing building there is a unique opportunity to blend traditional materials with modern materials.

STANDARDS FOR APPEARANCE

The purpose of these standards is to establish a designed objective of those items, which affect the physical aspect of the Village of Barrington's environment. Pertinent to appearance is the design of the site, building and structures, planting, street hardware, and miscellaneous other objects which are observed by the public.

These criteria are not intended to restrict imagination, innovation, or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will develop a satisfactory visual appearance within the city, preserve taxable values, and promote the public health, safety and welfare.

The following factors and characteristics which affect the appearance of a development will govern the Architectural Review Commission's evaluation of a design submission: (i) Conformance with the Appearance Code; (ii) Logic of design; (ii) Exterior space utilization; (iii) Architectural character; (iv) Attractiveness; (V) Material selection; (vi) Harmony and compatibility; (vii) Circulation – vehicular and pedestrian; (viii) Maintenance aspects.

1. RELATIONSHIP OF BUILDINGS TO SITE

The primary purpose of this standard is to ensure that the proposed building is designed to accomplish a desirable transition with the streetscape and that the scale of the building is compatible with the site with regards to site planning, mass and scale.

The proposal seeks to modify the exterior façade of the existing building on Northwest Highway. There are no significant changes proposed relating to site planning. There are no modifications proposed relating to the mass and scale of the existing building. The existing building and site configuration will remain mostly unchanged.

2. RELATIONSHIP OF BUILDINGS AND SITE TO ADJOINING AREA

The primary purpose of this standard is to address the relationship between the proposed site improvements and the surrounding properties as it relates to transitions, landscaping and screening.

The building is existing as are all site improvements. The site and building will remain largely unchanged except for minor improvements and a new building façade. As part of the planned development process, the landscape transitions between the subject property and the residential property to the north will be reviewed. There are no transition, landscaping or screening requirements between the neighboring commercial properties to the east and west.

3. LANDSCAPE AND SITE TREATMENT

The primary purpose of this standard is to address the more technical aspects of landscape design such as topography patterns, grading, plant material, lighting, etc.,

As part of the planned development process, the landscape transitions between the subject property and the residential property to the north will be reviewed. There will be no changes to the grading or topography of the site.

4. BUILDING DESIGN

The primary purpose of this standard is to consider the overall building design, compatibility with the neighborhood, building materials, colors, screening of mechanicals, waste receptacles, etc. This standard states that architectural design is not restricted. This standard is explored in more detail above through the B-1 Design Standards.

The Petitioner is proposing to implement a more modern appearance through the implementation of corporate branding for Honda. Although there is not significant development at this end of Northwest Highway, the subject property is located on Northwest Highway in the B-1 District which is intended for carefully regulated commercial development including vehicle dealerships. Generally speaking, the architecture along all of Northwest Highway ranges from eclectic to traditional with some buildings being of no particular style and in need updating or enhancement. Staff finds that the reuse of the existing brick building provides a unique opportunity to blend traditional and modern materials. The building is located near the southern entrance to the Village and the redevelopment of the site will be an enhancement to the entrance of the Village. The community has indicated through the comprehensive plan survey that Northwest Highway beautification should be a top priority of the Village. While that comes in many forms, investment into existing buildings and properties along this frontage is a significant step towards that goal.

5. MISCELLANEOUS STRUCTURES AND STREET HARDWARE

The primary purpose of this standard is to consider the design and compatibility of miscellaneous structures and street lighting.

No modifications are proposed to these elements at this time.

6. MAINTENANCE – PLANNING AND DESIGN FACTORS

The primary purpose of this standard is to consider future maintenance of the proposed development.

Staff finds that the Petitioner has selected materials that will require minimal maintenance and that are compatible with the nature of the use of the building.

STAFF RECOMMENDATIONS

The ARC should consider the following items and provide guidance to the Petitioner as part of the final review of ARC 20-18:

- 1. The specifications for the proposed entrance door system must be provided as part of the final submittal.**
 - 2. Color samples for the wall paint color and standing metal roof color must be provided as part of the final submittal.**
-



Village of Barrington
Attn: Jennifer Tennant, AICP
200 S. Hough Street
Barrington, IL

Dear Members of the Architectural Review Commission and Plan Commission:

The purpose of this letter is to explain the overall scope of the project being presented for your consideration located at 1201-1203 South Northwest Highway.

The existing 17,638 SF single story masonry building shall be remodeled to house the new tenant and use the current zoning is listed as B-1 general business district. We understand the tenant DSP Honda applicant: The Midwest Triumph Corporation of Mundelein, Mr. Jeff McLennan as President is seeking approval of his Honda Powersports Dealership. The new facility shall house sales, executive offices, parts, accessories and service department.

The existing building footprint and paved areas are not changing.

Certain plans submitted along with this cover letter shall depict the specific scope of work for the interior. The exterior shall be upgraded to include a new front façade / elevation. The existing mansard roof shall be re clad in the "Honda" red standing seam metal roofing. A new front entry structure constructed of metal panels and branded signage over the new pair of doors. The remainder of the masonry building shall be painted in a medium warm gray paint to match the typical Honda standards.

The front of the building, under the roof overhang shall have new led down lights to replace the existing light fixtures. New front parking lot lighting shall be provided and be mounted on the roof to illuminate the front parking area. This lighting shall be specified to focus down on the lot and not cause glare or light spreading over Northwest Highway.

The existing windows, trim and doors shall remain as they are in good condition.

Existing overhead doors shall be painted as serve the service entrance on the east and a new motorcycle delivery area on the west side of the front elevation.

The existing roof top HVAC units appear to be set back far enough to provide for minimal site line from Northwest Highway.

The landscaping generally shall be cleaned up to remove overgrown weeds on the west and rear side of the building. The front yard area shall be improved to include two vehicle display areas located on the east and west entries, sod and pea gravel shall be placed to establish a fixed spot to display product.

The existing large sign on the west property line shall be removed. The existing monument sign in the front of the building in the area near the parkway shall be remodeled to comply with the Honda standards. The sign shall not increase in size. The sign design is shown on exhibit A100.

In conclusion, Thank You for your consideration of this request. We look forward to a new beginning in Barrington and many years of successful business relations with the Village and other outstanding business in the community.

Sincerely,



Jeff McLennan



BARRINGTON

Be Inspired

APPLICATION FOR CERTIFICATE OF APPROVAL

Architectural Review Commission – Commercial & Multi-Family

OFFICE USE ONLY

ARC CASE #: _____
Prelim. Submittal Received: _____
PH Submittal Received: _____

Zoning District: _____
Prelim. Meeting Date: _____
PH Meeting Date: _____

SUBJECT PROPERTY INFORMATION

ADDRESS OF PROPERTY: 1201-1203 S. NORTHWEST HWY
USE(S) OF PROPERTY: PROPOSED POWERSPORTS DEALERSHIP

Is this site and/or proposed project subject to any other Village review process? Yes No

- | | |
|--|--|
| <input type="checkbox"/> Single-Family | <input type="checkbox"/> Rehabilitation |
| <input type="checkbox"/> Two-Family | <input type="checkbox"/> Addition / Alteration |
| <input type="checkbox"/> Multiple- Family | <input type="checkbox"/> New Construction |
| <input checked="" type="checkbox"/> Business | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Manufacturing | <input type="checkbox"/> Awning / Canopy |
| <input type="checkbox"/> Institutional | <input type="checkbox"/> Master Sign Plan |

APPLICANT NAME: THE MIDWEST TRIUMPH CORPORATION OF MUNDELEIN
ADDRESS: 550 E. NORTHWEST HWY DESPLAINES, IL 60016
PHONE NUMBER: 847-699-9600
EMAIL ADDRESS: JEFF@DSPHONDA.COM
SIGNATURE: [Signature]

PROPERTY OWNER INFORMATION

PROPERTY OWNER: DOBGE AGENCY, LLC
ADDRESS: 217 ALPINE DR LAKE ZURICH, IL 60047
PHONE NUMBER: 847-530-2843
EMAIL ADDRESS: STEVEYELLIN@GMAIL.COM
SIGNATURE: [Signature]

ARCHITECTURAL FIRM INFORMATION

ARCHITECTURAL FIRM: CD GROUP / CONSTRUCTION Design SERVICES
CONTACT NAME: TED ECKHARDT
PHONE NUMBER: 847-797-1700
EMAIL ADDRESS: TED@CDGROUPLLC.COM











1201

1203





ELECTRICAL
ROOM



PLAT OF SURVEY

BY
JOHN M. HENRIKSEN

415 E. GOLF ROAD - SUITE 103 ARLINGTON HEIGHTS, ILLINOIS 60005
TEL. 224-875-7633 FAX. 224-875-7634
WWW.HENRIKSENSURVEY.COM

OF
THE WESTERLY 9.35 FEET OF LOT 8 EXCEPT THAT PART THEREOF TAKEN FOR ROAD AND LOTS 9 AND 10 (EXCEPT THAT PART THEREOF DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWESTERLY CORNER OF SAID LOT 10, THENCE ON AN ASSUMED BEARING OF SOUTH 55 DEGREES, 08 MINUTES, 41 SECONDS EAST ALONG THE SOUTHWESTERLY LINE OF SAID LOT 10 A DISTANCE OF 1.32 FEET THENCE SOUTHEASTERLY 198.55 FEET ALONG SAID SOUTHWESTERLY LOT LINE AND A TANGENTIAL CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 1852.96 FEET THROUGH A CENTRAL ANGLE OF 06 DEGREES, 08 MINUTES, 22 SECONDS TO THE SOUTHEASTERLY CORNER OF SAID LOT 9, THENCE NORTH 28 DEGREES, 42 MINUTES, 08 SECONDS EAST ALONG THE EASTERLY LINE OF SAID LOT 9 A DISTANCE OF 11.42 FEET TO A POINT ON A 1923.09 FOOT RADIUS CURVE, THE CENTER OF CIRCLE OF SAID CURVE BEARS NORTH 28 DEGREES, 45 MINUTES, 19 SECONDS EAST FROM SAID POINT, THENCE WESTERLY ALONG SAID CURVE 198.66 FEET THROUGH A CENTRAL ANGLE OF 05 DEGREES, 55 MINUTES, 08 SECONDS TO THE WESTERLY LINE OF SAID LOT 10, THENCE SOUTH 34 DEGREES, 48 MINUTES, 42 SECONDS WEST ALONG SAID WESTERLY LINE 11.11 FEET TO THE POINT OF BEGINNING) IN ARTHUR T. MCINTOSH AND COMPANY'S PARKVIEW ACRES IN THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 1201-1203 S. NORTHWEST HIGHWAY
BARRINGTON, ILLINOIS 60010

AREA = 55,840 SQUARE FEET



ORDER NUMBER: **20083**

SCALE: 1 INCH = 20 FEET

ORDERED BY: **DES PLAINES HONDA**

BUILDING LINES AND EASEMENTS, IF ANY, SHOWN HEREON ARE BUILDING LINES AND EASEMENTS AS SHOWN ON THE RECORDED SUBDIVISION PLAT. CONSULT LOCAL AUTHORITIES FOR BUILDING LINES ESTABLISHED BY LOCAL ORDINANCES.

PLEASE CHECK LEGAL DESCRIPTION WITH DEED.

COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DISCREPANCY IMMEDIATELY.

DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING.

FRACTIONAL INCH EQUIVALENTS OF HUNDREDTHS OF A FOOT	
0.01=1/16"	0.25=1/4"
0.02=1/32"	0.33=1/3"
0.03=3/100"	0.37=1/2"
0.04=1/25"	0.38=1/2"
0.05=1/20"	0.40=2/5"
0.06=3/50"	0.50=1/2"
0.07=7/100"	0.56=7/12"
0.08=1/12"	0.62=5/8"
0.09=1/11"	0.63=5/8"
0.10=1/10"	0.67=2/3"
0.11=1/9"	0.75=3/4"
0.12=1/8"	0.83=5/6"
0.13=1/7"	0.87=5/6"
0.14=1/6"	0.88=5/6"
0.15=1/5"	0.92=4/5"
0.16=2/5"	0.96=24/25"
0.17=1/4"	1.00=1"

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

STATE OF ILLINOIS
COUNTY OF COOK

I, JOHN M. HENRIKSEN, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. DIMENSIONS ARE SHOWN IN FEET DECIMAL PARTS THEREOF.

ARLINGTON HEIGHTS, ILLINOIS MAY 6, 2020

John M. Henriksen
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2668
LICENSE EXPIRES NOVEMBER 30, 2020.



Powersports Exterior Sign Program



Double-Sided Exterior Signs - Pylon Sign poles by others



HC-DF 6X30 Box
6'-2" x 30'-0"
Flat flex face



HC-DF 4x10 Name
4'-0" x 10'-0"
Flat Face & Logo



HC-DF 3x15 Box
3'-0" x 15'-0"
Pan-formed face
& Embossed logo



HC-DF 3x8 Name
3'-4" x 8'-1"
Flat face & logo

HC-DF 4x4 Service
Projecting wall sign
4'-1 1/2" x 4'-1 1/2"
Pan-formed face & Embossed logo



Single-Sided Exterior Wall Signs



HC-SF 6x30
6'-2" x 30'-0"
Flat flex face



HC-SF 3x15
3'-0" x 15'-0"
Pan-formed face & Embossed logo



HC-SF 4x4 Service
4'-1 1/2" x 4'-1 1/2"
Pan-formed face & Embossed logo

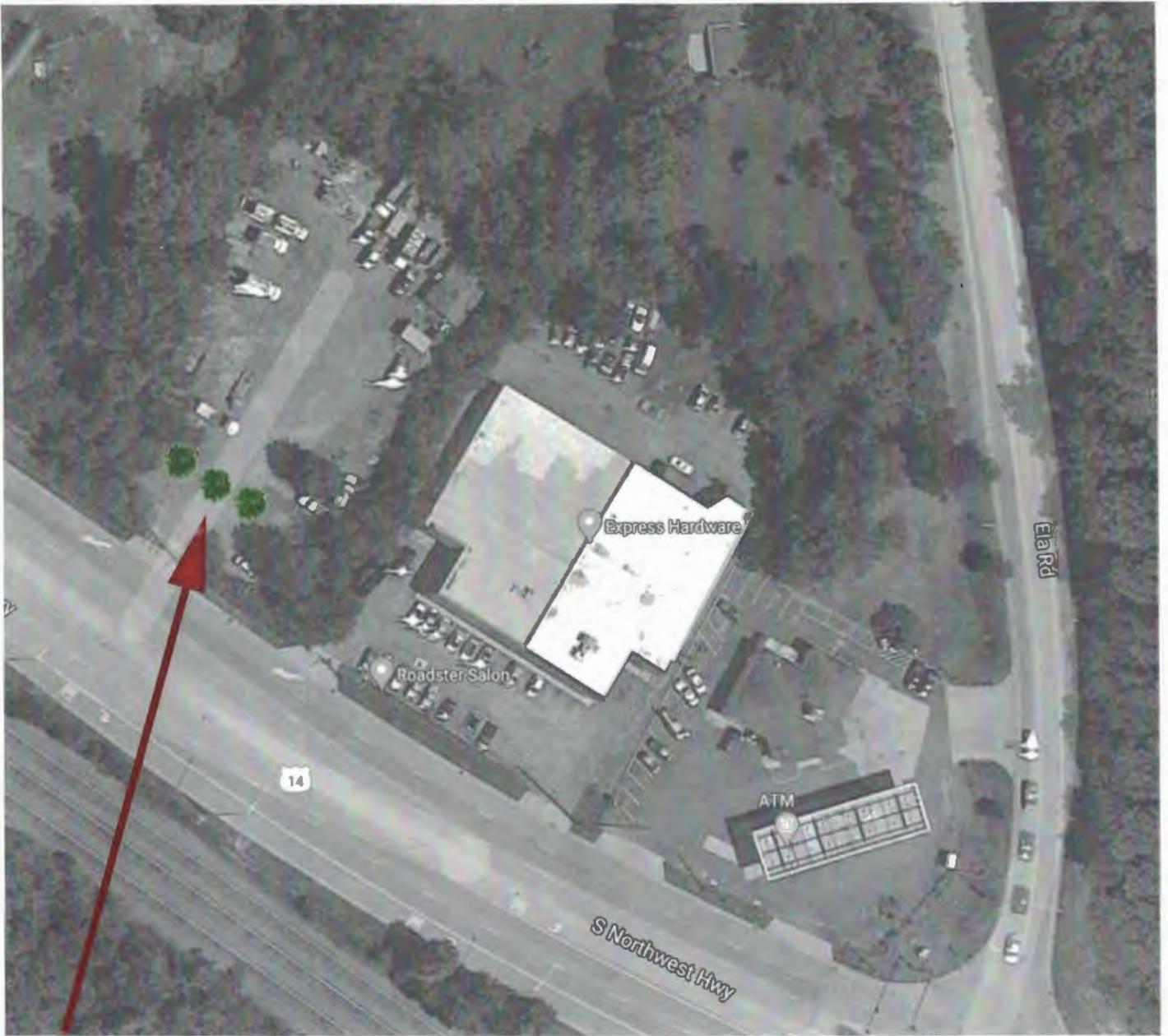
Channel Letters



HC-4'-8" x 30' Channel Letters
4'-8 5/16" x 30'-0" illuminated channel letters
& logo on rider system.



HC-2'-3" x 15' Channel Letters
2'-3 13/16" x 15'-0" illuminated channel letters
& logo on rider system.



NEW TREES TO PROVIDE SCREENING FROM NORTHWEST HIGHWAY

*Village of Barrington
Architectural Review Commission – Special Meeting
Minutes Summary*

Date: June 11, 2020

Time: 6:00 p.m.

Location: **Virtual** through ZOOM

In Attendance: Marty O'Donnell, Chairperson
Joe Coath, Vice-Chairperson
Tim Renaud, Commissioner
Karen Plummer, Commissioner
Leslie Haynes-Eiring, Commissioner

Staff: Jennifer Tennant
Andrew Binder

Call to Order

Chairperson O'Donnell called the **virtual** special meeting through ZOOM to order at 6:00 p.m.

Roll call noted the following: Leslie Haynes-Eiring, present (late); Tim Renaud, absent; Crystal DiDomenico, absent; Kevin Connolly, present; Karen Plummer, present; Vice-Chairperson Joe Coath, present; Chairperson Marty O'Donnell, present.

There being a quorum, the meeting proceeded.

#####

New Business

ARC 20-11: 201 W. Station Street – Administrative Referral
PROPERTY OWNER: Paige Rogers
ARCHITECT: Mark Swanson, 536 Summit Street, Barrington, IL 60010

Staff is seeking feedback from the ARC on whether the proposed board shutter design is appropriate for the architectural style of the contributing structure at 201 W. Station Street. The Historic District survey sheet indicates that the house was originally folk but has since been renovated into a colonial revival style. The exterior façade of the house is all wood shingles, a bay window has been added and the front entrance enclosure has also been added. The property owner intends to install appropriately sized shutters in the correct manner required by the Design Guidelines. The property owner is also planning to restore original window trim details.

Ms. Tennant gave an overview that the property owner wants to add shutters to the building and wants the ARC to give some feedback on the improvement to the front façade. The property owner is attempting to provide some cohesiveness to the house while enhancing the charm and curb appeal.

Paige Rogers, property owner, indicated that she loves living in a historic home and wants to have a cohesiveness identity to the house. She gave an overview of the history of the home and the style of the home that has been present over the years. She also indicated that once she has a general cohesiveness identity for the house, it will be better to design.

Ms. Tennant indicated that there is one window on the interior of the home with the existing window trim that they are using to match the remainder of the house.

Vice-Chairperson Coath asked why replacing the exterior trim is being proposed.

Ms. Rodgers indicated that all of the exterior trim is wrapped in aluminum and she would like to remove all of the aluminum and restore and repair the wood underneath. She indicated that she will restore the trim that is restorable and replace the trim with wood that cannot be restored.

Mark Swanson indicated that there is one window on the rear of the home with original trim and the rest of the trim appears to be wrapped in the aluminum and the need for trim replacement will be determined case by case.

Chairperson O'Donnell asked if any of the original house is exposed.

Mr. Swanson indicated that some parts of the building, like the window in the rear, appear to be the original.

Chairperson O'Donnell stated that he supports the changes to the trim. He also asked Vice-Chairperson Coath on his thoughts on the proposed shutters.

Vice-Chairperson Coath indicated that shutters are an appropriate option and it's important that the size of the shutters are appropriate to the window size. He also indicated that the shutter hardware should also be installed.

Ms. Rodgers indicated that the home had shutters when she bought the home that were nailed next to the windows and not operational. She stated that she will defiantly look into the options on making the shutters functional by adding the shutter hardware.

Commissioner Plummer asked if the lower window near the patio will have shutters.

Mr. Swanson indicated that the lower window will not have shutters on it.

Ms. Tennant indicated that her main reason for this item to be presented to the ARC was the proposed shutter style and if it was appropriate to the style of the home.

Commissioner Plummer indicated that the shutters would be very attractive.

Ms. Tennant asked Mr. Swanson to comment on what the header will be and if it will be a taller casing.

Mr. Swanson indicated that the casing will be a simple 4 ¼ casing and does not warrant on putting a crown along the head.

Ms. Rodgers asked that the one of the original windows in home does have an apron. She was exploring the possibility of adding a window apron to the rest of the windows on the house.

Mr. Swanson indicated that the interior trim may have an apron. Commissioner Coath agreed that it would be pretty rare to have an apron.

Ms. Tennant gave an overview of the request that the 4 ¼ casing will be used, no apron, standard traditional sill and board and baton shutters are OK.

Chairperson O'Donnell thanked Ms. Rodgers for her work on improving on her home.

#####

Old Business

ARC 20-10: 340-360 W. Northwest Highway – Public Hearing
PROPERTY OWNER: GPB LLC – David Garfield
PETITIONER: Barrington Cardinal Warehouse LLC – Adam Silverstein
ARCHITECT: Psenka Architects

The Petitioner is seeking approval of a Certificate of Approval for exterior façade modifications to the existing building in the B-1 General Business District. The Petitioner is proposing to implement a more modern building façade through the use of smooth cementitious panels with composite wood accents and metal awning structures.

Ms. Tennant indicated that this is a final detail review on the final paint color and on the window trim. She indicated that the applicant has modified the color selection to a lighter color.

Commissioner Plummer stated that the color is fine. Commissioner Renaud agreed.

Chairperson O'Donnell asked Ms. Tennant if there was any public comments or public attendees.

Ms. Tennant indicated that one member of the public is on the call, but believes they are at the meeting for the upcoming ARC agenda item.

Chairperson O'Donnell believes that the proposed trim is the best that we can do for an existing situation.

Vice-Chairperson Coath indicated that he is not a fan of the minimalist punched opening because of the high abstract contrast. He feels that it should have more of a casing transition and feels that the design is a little jarring for the neighborhood. Vice-Chairperson Coath indicated that adding a board casing would be helpful to minimize the impact to the rest of the neighborhood.

Mr. Silverstein understands the concern but thinks the addition of the board casing will not look appealing with the other proposed materials.

Ms. Tennant clarified that the boards will not be installed like lap-siding and will be installed flat to have a more modern look.

Vice-Chairperson Coath indicated that there still could be a board casing to abut the shiplap boards and could be painted to match the siding.

Commissioner Haynes-Eiring joined the meeting and the Commissioners brought her up to speed on the agenda item.

Commissioner Haynes-Eiring asked Vice-Chairperson Coath if 3 ½" casing is necessary.

Vice-Chairperson Coath indicated that any type of casing would be suffice.

Mr. Silverstein indicated that if the ARC believes a board should be placed around the window, they are capable of doing so, but asks if there could be some leniency when it is installed to see how it looks.

Chairperson O'Donnell indicated that a casing around the single windows and doors would be a reasonable request.

Commissioner Haynes-Eiring agrees that a casing would be appropriate.

Ms. Tennant asked if painting the casing black to match the window frame would be more appropriate.

Vice-Chairperson Coath and Commissioner Haynes-Eiring agree.

Ms. Tennant clarified that the casing would have to be at a minimum of 1 ½" and the casing would have to be in front of the face of the board siding.

Chairperson O'Donnell agrees and asked if the rest of the Commissioners agree.

Commissioner Plummer and Commissioner Renaud both agree that they agree.

Ms. Tennant clarified that the applicant is asking that if the casing does not look good then they will return to the ARC to reconsider the casing.

Commissioner Plummer motioned to approve the final details for ARC 20-10 subject to the conditions set by the ARC relating to the casing detail. Commissioner Renaud seconded the motion.

Roll call vote: Leslie Haynes-Eiring, yes; Tim Renaud, yes; Crystal DiDomenico, absent; Kevin Connolly, absent; Karen Plummer, yes; Vice-Chairperson Joe Coath, yes; Chairperson Marty O'Donnell, yes. The vote was 5-0. The motion carried.

ARC 20-08: 129 Coolidge Avenue – Public Hearing

PROPERTY OWNER: ZB Development Group, Inc., 5277 Trillium Blvd., Hoffman Estates, IL 60192

APPLICANT: ZB Development Group, Inc., 5277 Trillium Blvd., Hoffman Estates, IL 60192

ARCHITECT: Mark Swanson, 536 Summit Street, Barrington, IL 60010

The Petitioner is requesting the reclassification and/or demolition of the existing accessory structure detached garage and a Certificate of Appropriateness for the construction of a new noncontributing detached garage subject to the approval of the reclassification and/or demolition. The Petitioner is also requesting a Certificate of Appropriateness for the construction of an addition to the rear of the existing contributing primary structure. The property is zoned R-6 Single Family Residential District/Historic Overlay District.

Ms. Tennant indicated that Mr. Swanson has meet all the comments from the preliminary meeting. She continued that the plan for the existing section of the house is to restore all the original materials. She asked Mr. Swanson if the front entrance way will just be cleaned up and left as-is?

Mr. Swanson confirmed that the front entrance way is in good condition and will be left as is.

Commissioner Haynes-Eiring asked if the carport will be taken down and if it was original to the home.

Mr. Swanson confirmed that the carport will be taken down and indicated that they are not sure if the carport is original to the home. He indicated that based on a detail of the home, the carport may have been added after the house was built. He also stated that the carport structure is not particularly stable.

Chairperson O'Donnell stated that the carport was discussed at the preliminary meeting for this project.

Commissioner Plummer stated that she did an internet search and found an image of a Sears Dutch Colonial with an addition that is similar to the trellis carport.

Commissioner Haynes-Eiring indicated that she thinks the trellis carport is charming.

Ms. Tennant discussed the existing state of the garage. She indicated that it is difficult to see the splitting wall in the exterior photos of the garage due to its proximity to the property line and existing landscaping but the interior photos clearly show the split and that a simple repair would not be feasible.

Commissioner Plummer and Commissioner Haynes-Eiring both agree that the existing garage is in bad shape and the new garage would be better suited for the site.

Vice-Chairperson Coath stated that he does like the existing carport. He continued that the box bay on the rear elevation would look better if the floor was extended and the bay was lifted up.

Mr. Swanson said that changing the box bay is a good suggestion and he will go back to the owners to review the proposed change.

Vice-Chairperson Coath also indicated that the crown detail is calling out a 3 ¼ inch crown and it seems like 4 ¼ inch crown may be more appropriate.

Mr. Swanson indicated that he could not get a good measurement of the existing crown and will have to field verify the width. He stated that the goal is to match existing.

Vice-Chairperson Coath asked why the rake detail on the outer fascia is a 2 x 8.

Mr. Swanson stated that the existing rake is a 2 x 8, and can't explain why that rake was placed on the house. He said it is placed all around the house and is very unusual.

Commissioner Haynes-Eiring asked Mr. Swanson if it would be a huge expense to try to save the carport.

Mr. Swanson indicated that the property owner's concern was that the thin trellis work on the carport is falling apart. He indicated that the detailed work would have to be rebuilt.

Commissioner Plummer asked if the door underneath the carport is the closet door to the kitchen.

Mr. Swanson stated that the side door is the closest way to the kitchen.

Commissioner Plummer stated that the side door with the carport cover would be best door to enter if there was inclement weather.

Mr. Swanson agreed and can ask the owners if they would like to keep the carport.

Ms. Tennant indicated that it can be a recommendation to keep the carport.

Vice-Chairperson Coath motioned to approve ARC 20-08 for the reclassification and/or demolition of the existing accessory structure detached garage and a Certificate of Appropriateness for the construction of a new noncontributing detached garage subject to the approval of the reclassification and/or demolition and Certificate of Appropriateness for the construction of an addition to the rear of the existing contributing primary structure subject to the condition and recommendations set by the ARC.

Commissioner Plummer seconded the motion:

CONDITIONS

1. All material specifications must be provided as part of the final permit including but not limited to windows, service doors, overhead garage doors, roof shingles, etc.
2. The resubdivision of the property into one zoning lot is required prior to permit issuance.
3. All proposed restoration work must be labeled on the permit plans.
4. All proposed materials and dimensions must be labeled on the permits plans.
5. The dimensions of all trim details should be field verified and all new details on the addition should match the existing original details.

RECOMMENDATIONS

1. Explore the possibility of retaining and restoring the side trellis/porte cochere structure.
2. Consider lifting the box bay slightly above floor level.

FINAL DETAILS

None.

Roll call vote: Leslie Haynes-Eiring, yes; Tim Renaud, yes; Crystal DiDomenico, absent; Kevin Connolly, absent; Karen Plummer, yes; Vice-Chairperson Joe Coath, yes; Chairperson Marty O'Donnell, yes. The vote was 5-0. The motion carried.

#####

Approval of Minutes

May 14, 2020

Commissioner Plummer motioned to approve the May 14, 2020 meeting minutes, Commissioner Renaud seconded the motion. A voice vote noted all ayes, and Chairperson O'Donnell declared the motion approved.

May 28, 2020

Commissioner Plummer motioned to approve the May 28, 2020 meeting minutes, Commissioner Renaud seconded the motion. A voice vote noted all ayes, and Chairperson O'Donnell declared the motion approved.

Planners Report

Ms. Tennant indicated that the Village Board has requested a report on all contributing garages as well as amendments to the garage doors requirements in order to determine if there needs to be changes to the Historic District regulations. She indicated that she is currently in the preliminary stage of the review.

Vice-Chairperson Coath stated that he would like to have a discussion with the Village Board regarding amending the regulations.

Commissioner Plummer and Chairperson O'Donnell agreed with Vice-Chairperson Coath.

Other Business

Adjournment

There being no additional business to come before the Commission, a motion was duly made by Commissioner Plummer and seconded by Commissioner Renaud to adjourn the meeting at 7:19 p.m. A voice vote noted all ayes, the motion is approved.

Respectfully submitted,

Andrew Binder
Planning and Zoning Coordinator

Approved: