



BARRINGTON

Be Inspired.

**NOTICE OF A PUBLIC MEETING
OF THE ARCHITECTURAL REVIEW COMMISSION**

The Architectural Review Commission of the Village of Barrington will hold a meeting on **Thursday, October 8, 2020 at 7:00 P.M. virtually** at 200 South Hough Street, Barrington, Illinois.

ZOOM Meeting Link Available Here:

<https://www.barrington-il.gov/oct8arc>

Webinar ID: 835 5653 9944

Please use this information to attend with video:

Meeting Link: <https://www.barrington-il.gov/oct8arc> OR visit www.zoom.com click "Join a Meeting" and enter Webinar ID: 835 5653 9944

You can also join by phone by dialing any of the following numbers, then entering the Webinar ID: 835 5653 9944 followed by the pound (#) key. Dial: +1 312 626 6799 or +1 301 715 8592 or +1 646 558 8656 or +1 669 900 9128 or +1 253 215 8782 or +1 346 248 7799

PUBLIC COMMENT: Public comment for this meeting will be accepted in three (3) ways:

1.) Live public comment at the virtual meeting. Instructions for how to provide a live public comment at the virtual meeting will be provided at the beginning of the meeting and again prior to the public comment section of the meeting.

2.) By email prior to the meeting if received by 5:00 p.m., Thursday October 8, 2020. To submit public comment in advance of the meeting, submit an email to: jtennant@barrington-il.gov including: Name, Street Address (Optional), City/State, Phone (Optional), Organization, Agency, etc. Being Represented (If representing yourself, put "Self"), Topic or Agenda Item, followed by your comment. Any comments received by the deadline will be read by Staff during the public comment section of the meeting.

3.) By phone. The public without access to email or unable to attend the live virtual meeting may leave a message with the Architectural Review Commission at (847) 304-3462.

AGENDA:

- Call to Order
- Roll Call

VILLAGE HALL
200 S. HOUGH ST.
BARRINGTON, IL. 60010
(847) 304-3400

VILLAGE PRESIDENT &
VILLAGE MANAGER'S OFFICE
T. (847) 304-3444
F. (847) 304-3490

FINANCIAL SERVICES
T. (847) 304-3400
F. (847) 381-7506

DEVELOPMENT SERVICES
T. (847) 304-3460
F. (847) 381-1056

PUBLIC WORKS
300 N. RAYMOND AVE.
BARRINGTON, IL 60010
T. (847) 381-7903
F. (847) 382-3030

PUBLIC SAFETY
400 N. NORTHWEST HWY.
BARRINGTON, IL 60010

POLICE
T. (847) 304-3300
F. (847) 381-2165

FIRE
T. (847) 304-3600
F. (847) 381-1889

BARRINGTON-IL.GOV

- **Old Business**

- **ARC 20-23: 222 S. Cook Street – 2nd Preliminary Review**

- The Petitioner is seeking further input on potential modifications to the originally proposed preliminary plans.

- **New Business**

- **ARC 20-25: 235 Coolidge Avenue – Public Hearing**

- The Petitioner is seeking a Certificate of Appropriateness for modifications to the existing front porch on the noncontributing primary structure.

- **ARC 20-27: 610 S. Cook Street – Preliminary Review**

- The Petitioner is seeking a Certificate of Appropriateness for the construction of an addition and new front porch to the existing contributing primary structure and construction of a new noncontributing detached garage.

- **ARC 20-28: 208 E. Russell Street – Public Hearing**

- The Petitioner is seeking a Certificate of Appropriateness for the construction of a double set of new front steps to the contributing primary structure.

- **ARC 20-29: 40 E. Dundee Road (Barrington Middle School – Prairie Campus) – Preliminary Review**

- The Petitioner is seeking a Certificate of Approval for the construction of an addition to the existing school building.

- **ARC 20-30: 215 Eastern Avenue (Barrington Middle School – Station Campus) – Preliminary Review**

- The Petitioner is seeking a Certificate of Approval for the construction of an addition to the existing school building.

- **Approval of Minutes**

- **Planner’s Report**

- **Other Business**

- **Adjournment**

Posted: Barrington Village Hall

Architectural Review Commission Members, Village President and Board of Trustees, Village Manager, Department Heads, Recording Secretary, Courier / Herald / Chicago Tribune / Chicago Sun Times

The Village of Barrington is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the Village’s facilities, are requested to contact the Village Clerk’s Office at 200 S. Hough Street, Barrington, Illinois 60010 or call at 847/304-3400 promptly to allow the Village to make reasonable accommodations for those persons.

VILLAGE HALL
200 S. HOUGH ST.
BARRINGTON, IL. 60010
(847) 304-3400

VILLAGE PRESIDENT &
VILLAGE MANAGER'S OFFICE
T. (847) 304-3444
F. (847) 304-3490

FINANCIAL SERVICES
T. (847) 304-3400
F. (847) 381-7506

DEVELOPMENT SERVICES
T. (847) 304-3460
F. (847) 381-1056

PUBLIC WORKS
300 N. RAYMOND AVE.
BARRINGTON, IL 60010
T. (847) 381-7903
F. (847) 382-3030

PUBLIC SAFETY
400 N. NORTHWEST HWY.
BARRINGTON, IL 60010

POLICE
T. (847) 304-3300
F. (847) 381-2165

FIRE
T. (847) 304-3600
F. (847) 381-1889

BARRINGTON-IL.GOV



BARRINGTON

Be Inspired.

ARC Memorandum

To: Architectural Review Commission

From: Jennifer Tennant, Assistant Director of Development Services

Subject: ARC 20-23: 222 S. Cook Street – 2nd Preliminary Review

Date: October 8, 2020

On September 10, 2020, The ARC conducted a preliminary review of a proposed project at 222 S. Cook Street. The ARC provided the following comments for the Petitioner's consideration:

1. Consider more traditional design elements relating to the exterior wall materials on the addition and the design of all balcony railings.
2. An 18" knee wall should be added to all full-length windows. It may be possible to forgo the knee wall on the east elevation on the existing section of the building only due to the exposed/raised foundation.
3. Carefully consider the scale of the cornice and proportions of the proposed panel frieze in terms of classicism. The proposed column placement does not appropriately relate to the panel frieze.
4. Eliminate window apron board in favor of a traditional sill detail.

The Petitioner has requested a second preliminary meeting to further explore the exterior wall material and full length windows on the addition prior to finalizing the proposed building design.

The following documents are attached:

- Cover Letter/Exhibit List
- Exhibits

2nd Preliminary ARC – October 8, 2020

222 S Cook Street

Architectural Review Commission- 9/11/2020 Preliminary review comments for review:

- 1) Consider a more traditional design for balcony railings – we are open to the idea
- 2) Column placement relating to panel frieze – agreed, we will adjust
- 3) Eliminate window apron in favor of traditional sill detail – agreed, we will adjust
- 4) More traditional design element for exterior wall:

- Exhibit 1 - Stone Examples in Village
- Exhibit 2 - Building with Red Brick
- Exhibit 3 - Building with Stacked Stone
- Exhibit 4 - Building with Limestone

- 5) An 18” knee wall versus full length windows:

- Exhibit 5 - Possible Tenant response to windows
- Exhibit 6 - Window Example in Village
- Exhibit 7 - Adding Bull Nose
- Exhibit 8 - Adding 8” curb

Potential Tenant Response to Renderings

Subject: Re: Updated Drawings

Oh wow! That is really cool. Are those windows along the road sliding glass doors?

Julie







847-333-...
we'll figure it out

New!
Data fit pants & jeans
The evolution of the
pant fit



XXXXXXXXXXXXXXXXXXXX





















BARRINGTON
Be Inspired

ARCHITECTURAL REVIEW COMMISSION STAFF REPORT

TO: Architectural Review Commission **MEETING DATE:** October 8, 2020
Public Hearing

FROM: Development Services Department **PREPARED BY:** Jennifer Tennant
Asst. Director of Development Services

ARC 20-25: 235 Coolidge Avenue (Porch) – HISTORIC/NONCONTRIBUTING

The Petitioner is requesting a Certificate of Appropriateness for the modifications to the existing front porch to the existing noncontributing primary structure. The property is zoned R-6 Single-Family Residential District/Historic Overlay District. The current use of the property is single-family residential and the parcel is approximately 8,650 sq. ft.

PROPERTY OWNER: Kristen Kujawski, 235 Coolidge Avenue, Barrington, IL 60010
APPLICANT: Kristen Kujawski, 235 Coolidge Avenue, Barrington, IL 60010
ARCHITECT: Mark Swanson

STAFF RECOMMENDATIONS

The ARC should consider the following items and provide guidance to the Petitioner prior to the final motion relating to ARC 20-25:

- 1. All plans are subject to final building, engineering and zoning review prior to the issuance of a building permit.**

Motion: If the ARC concurs with the Staff’s findings, conditions and required final details contained herein, Staff recommends that the ARC adopt these findings as their own and make a motion to approve ARC 20-28 subject to any additional conditions, recommendation or required final details established by the ARC.

FINDING OF FACT

Staff believes the proposal must substantially comply with the three (3) standards in Section 9.8-H of the Zoning Ordinance (See Below).

- 1. Scale and Form.**
 - a. Height and Width.** The proposed height and width shall be visually compatible with surrounding structures and streetscape.
 - b. Proportion of Principal Facades.** The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape.
 - c. Roof Shape.** The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape.
 - d. Scale of a Structure.** The size and mass of the structures shall be visually compatible with the size and mass of surrounding structure and streetscape.

The Petitioner is proposing to reconfigure the steps leading to the front porch. This is a unique situation as the front porch is located one story above grade. The Petitioner is planning to bring the steps straight down to open up the porch from its current configuration and create a more welcoming entrance to their home. Overall, Staff finds that this modification is consistent with the scale and form of the existing structure. Staff finds that this standard is met.

2. Composition of Principal Facades.

- a. **Proportion of Openings.** The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape.
- b. **Relationship of Solids to Voids in Facades.** The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape.
- c. **Relationship of Entrance Porch and Other Projections.** The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape.
- d. **Relationship of Materials.** The relationship of the color and texture of materials including paint color of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape. There shall be no permit or review required for the application of paint, however the paint color shall conform to the style of architecture as indicated in Recommendations for Paint and Paint Colors, to be established by the Architectural Review Commission.

The Petitioner is proposing to widen the porch opening and reconfigure the porch stairs. The existing structure is a unique design with the porch being one story above grade. The current steps return back towards the house creating an unusual condition not commonly seen on front entrance porches throughout the Historic District, even on noncontributing structures. The Petitioner is planning to widen the porch opening which will create a better relationship with the street.

SIDING N/A

TRIM N/A

GUTTERS N/A

SHINGLES N/A

WINDOWS N/A

DOORS N/A

CHIMNEY N/A

PORCH Wood. OK.

OTHER N/A

Staff finds that this standard is met.

3 Relationship to Street.

- a. **Walls of Continuity.** Facades and site structures, such as walls, fences and landscape masses,

shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related.

- b. **Rhythm of Spacing and Structures on Streets.** The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related.
- c. **Directional Expression of Principal Elevation.** A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street.
- d. **Streetscape and Pedestrian Improvements.** Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of an H Historic Preservation Overlay District.
- e. **Subdivision of Lots.** The Zoning Official shall review subdivision plats proposed for property within an H Historic Preservation Overlay District and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s). All subdivisions shall meet the requirements of the Village of Barrington Subdivision Regulations

The existing structure has a unique street presence with the first floor of the structure raised one story above grade. The proposed modifications will alter the street presence of the structure by creating a more direct path to the primary entrance. This will enhance the visual orientation of the structure towards the street. This improvement will enhance the street presence of the structure thereby enhancing the overall pedestrian experience. Staff finds that this standard is met.

235 Coolidge Avenue – Noncontributing



Located at 235 Coolidge Avenue is a ca. 1981 gabled ell brick veneer dwelling.



Mark Swanson – Architect
536 South Summit St Barrington, IL 60010
224-563-8494
swansonmc@comcast.net

9/14/20

Chairperson Marty O'Donnell and Commissioners
ARCHITECTURAL REVIEW COMMISSION
Village of Barrington
200 South Hough Street, Barrington, IL 60010

RE: Architectural Review Meeting of 10/8/20
Proposal: 235 Coolidge

Dear Commissioners:

OVERVIEW

The following is a brief overview of the proposed project and at the above address.

1. The existing wood switch back front stairs will be replaced with a straight run wood stair. The existing stair is 3'-0" wide. The new stairs will be 5'-0" wide.
2. The existing upper and lower porch posts will remain. The post at the stair will be adjusted to the new stair width. The arched frieze will remain and the arches adjusted at the new stair. The existing rail will also be replaced with a similar rail pattern to the current rail.

ATTACHMENTS

The attached plans define the scope and nature of this project. They are:

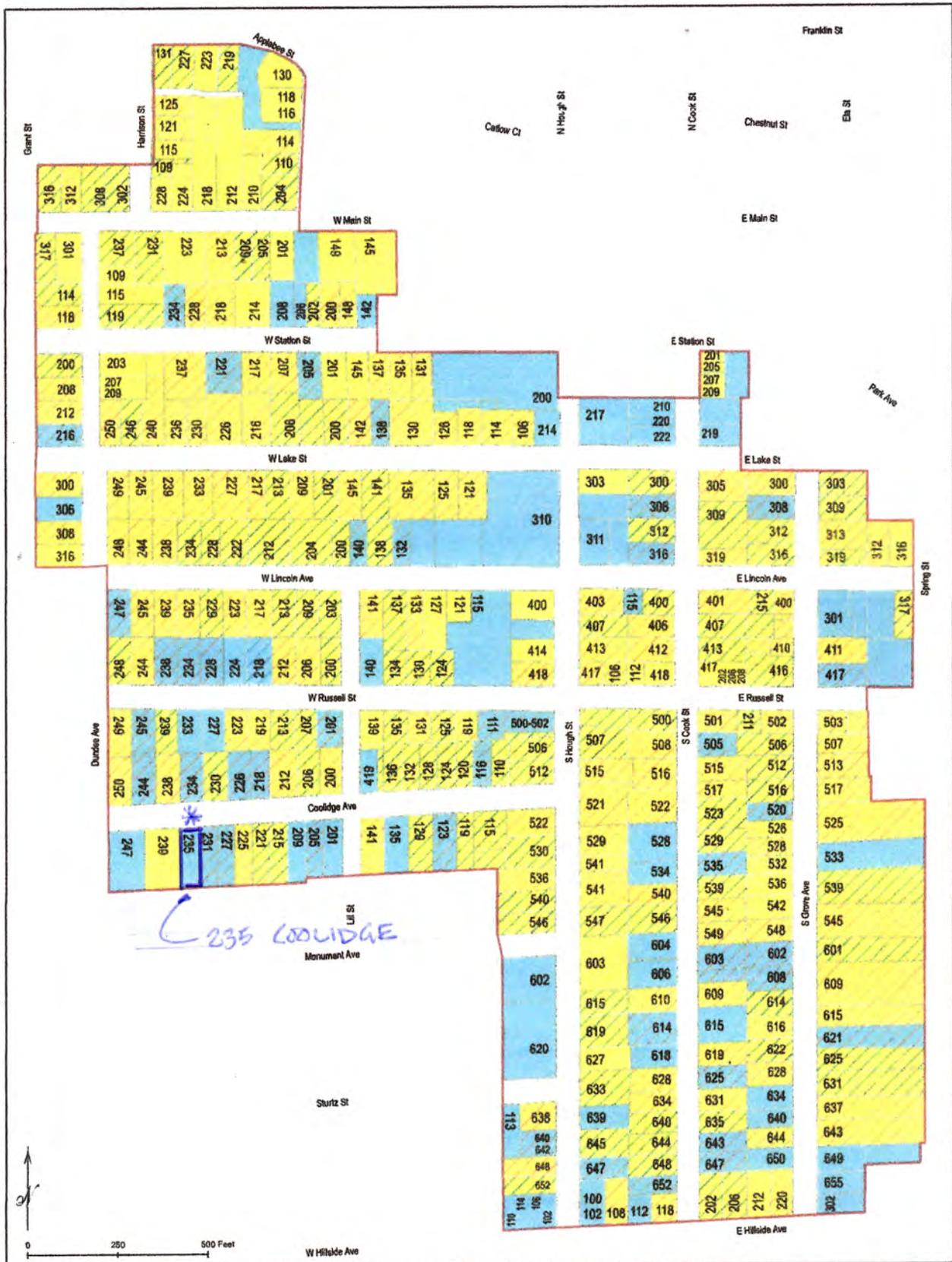
- Page 1: Location map
Page 2-4: Photographs of the existing residence and surrounding views
Sheet 1: Existing plan and elevation $\frac{1}{4}'' = 1'-0''$
Sheet 2: New Floor Plan at $\frac{1}{4}'' = 1'-0''$, Section at $\frac{1}{2}'' = 1'-0''$, Rail Detail at $3'' = 1'-0''$
Sheet 3: New Elevations and plans at $\frac{1}{4}'' = 1'-0''$

PRESENTATION MATERIALS: Material samples will be presented as needed.

CONSTRUCTION: Construction of this project is expected to begin Fall 2020 and end TBD.

Thank you for your time and consideration.

Mark Swanson – Architect
NCARB, IL, IN, MN, MI, WI, UT



The Vision of the Village of Barrington is to preserve and promote its unique small town heritage, preserve its distinct ecological and historical character, provide a moral and safe environment, maintain a high quality of life through the efficient use of community resources, and respond to future challenges through citizen participation in all civic, social, and cultural endeavors.

HISTORIC PRESERVATION DISTRICT CONTRIBUTING STRUCTURES

- House - YES / Garage - YES
- House - YES / Garage - NO
- House - YES / Garage - NA
- House - NO / Garage - YES
- House - NO / Garage - NO
- House - NO / Garage - NA

Projection: State Plane (Illinois East)
 Map Units: Feet
 Source: VnB GIS, Cook Co., Lake Co.
 Date: 6/25/2018

Disclaimer of Liability:
 GIS maps and related data contained therein ("maps and data") made available by the Village of Barrington are intended for reference purposes only. The Village provides such maps and data AS IS without any implied or expressed warranties as to its accuracy and completeness. Such maps and data are believed to be accurate, but accuracy is not in any way guaranteed, and modifications are made to such maps and data on an ongoing basis as new information becomes available. Any use and/or applications of such maps and data is done solely at the user's own risk.

Project:

Boncosky Residence
235 Coolidge
Barrington, IL 60010

10/8/20
ARC Preliminary / Final



Front Elevation

Right Side Elevation



Rear Elevation

Left Side Elevation

Project:

Boncosky Residence
235 Coolidge
Barrington, IL 60010

10/8/20
ARC Preliminary



Looking East



Looking West

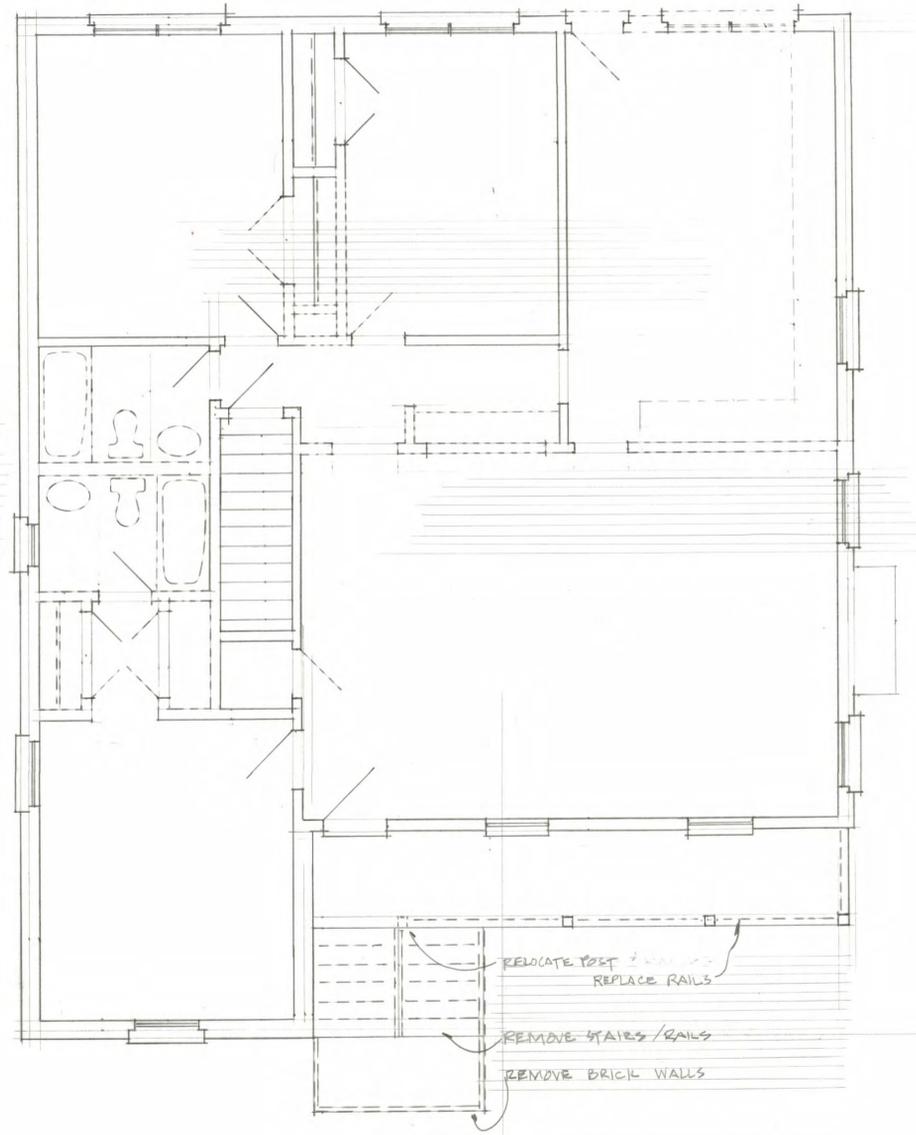


Looking North

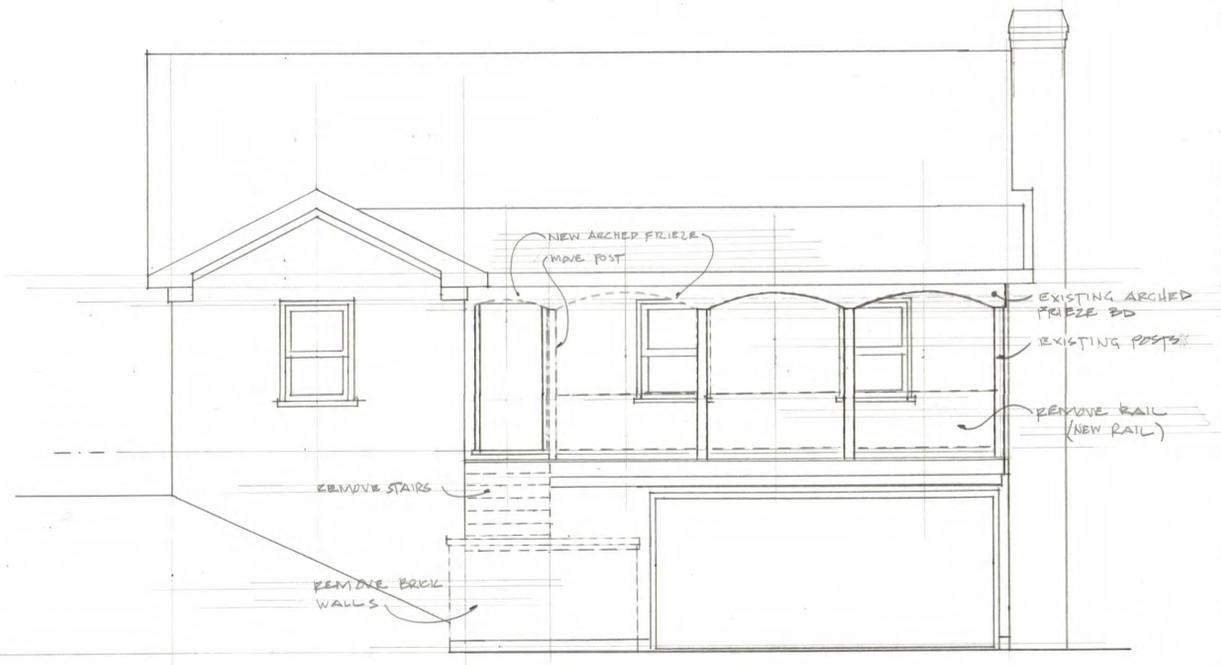


SITE

Cert



FIRST FLOOR - EXIST / DEMO PLAN 1/4" = 1'-0"



EXIST. / DEMO FRONT ELEVATION 1/4" = 1'-0"



Proposed Remodeling For
 Mr. & Mrs. Doug Boncosky
 235 Coolidge
 Barrington, IL 60010

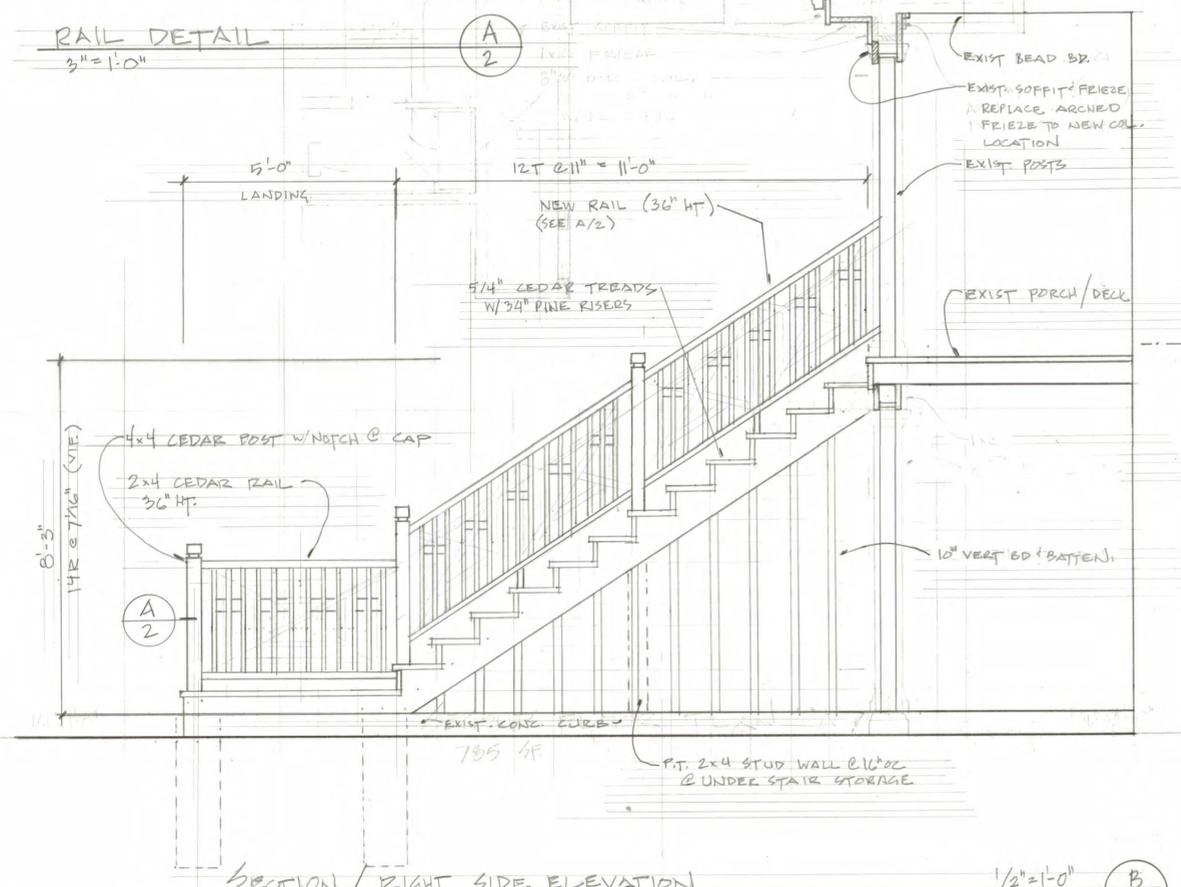
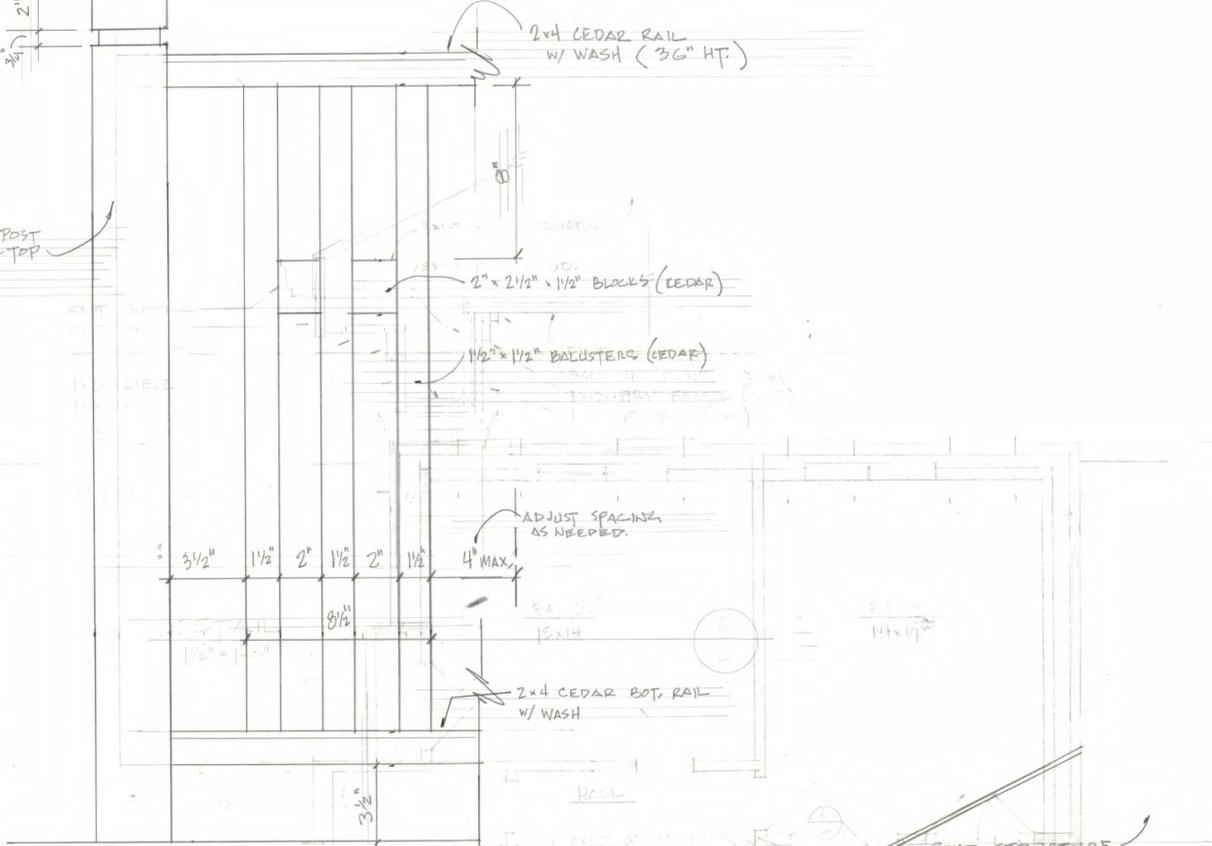
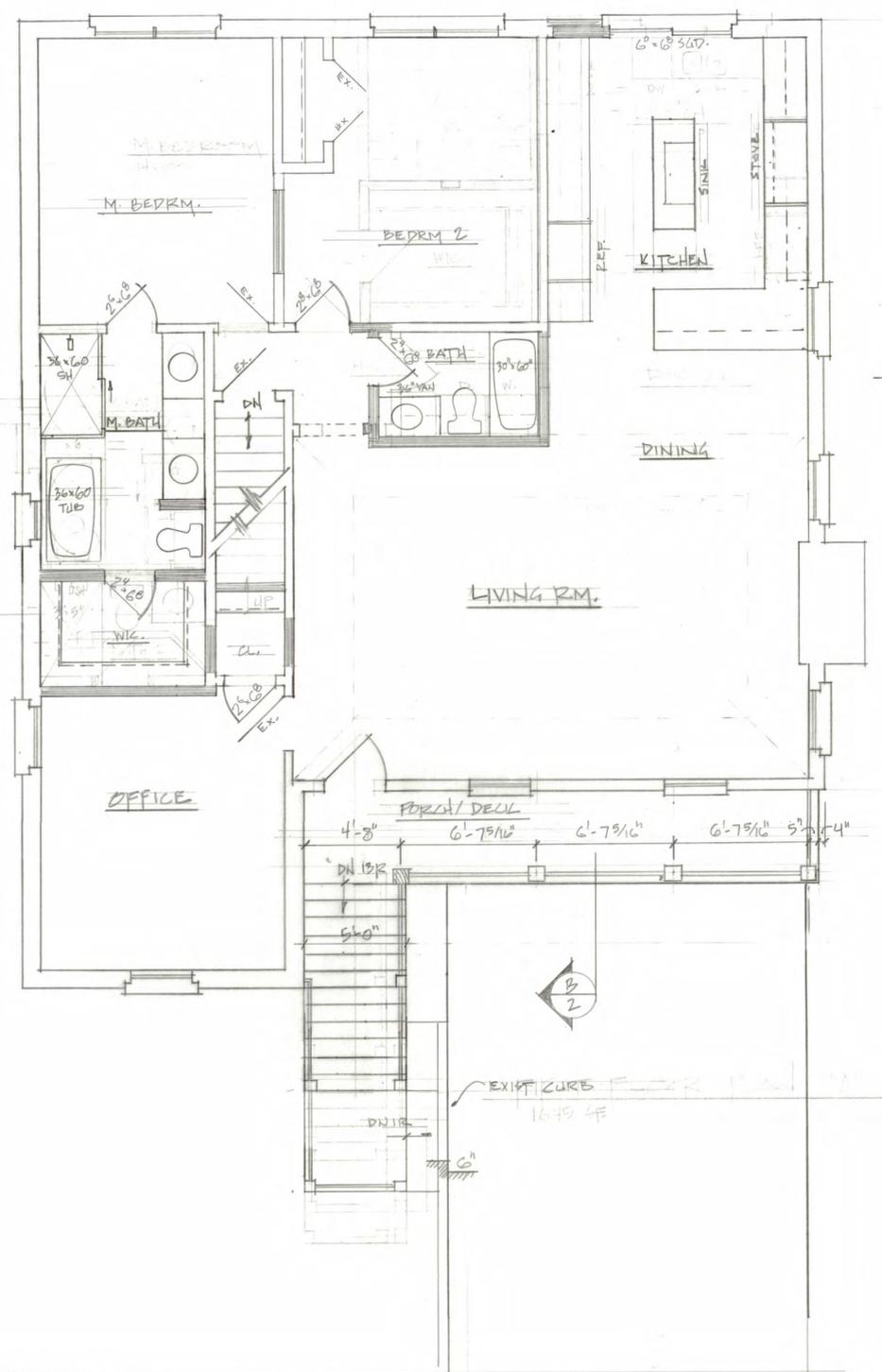
224-563-8494

www.behance.net/swansonm
 www.houzz.com/pro/swansonm
 www.facebook.com/mcsaarchitect

Mark Swanson, Architect
 NCARB, IL, IN, MI, MN, WI, NV, UT
 swansonm@comcast.net

536 S. Summit St.
 Barrington, IL 60010

DATE 9/14/20 ARC

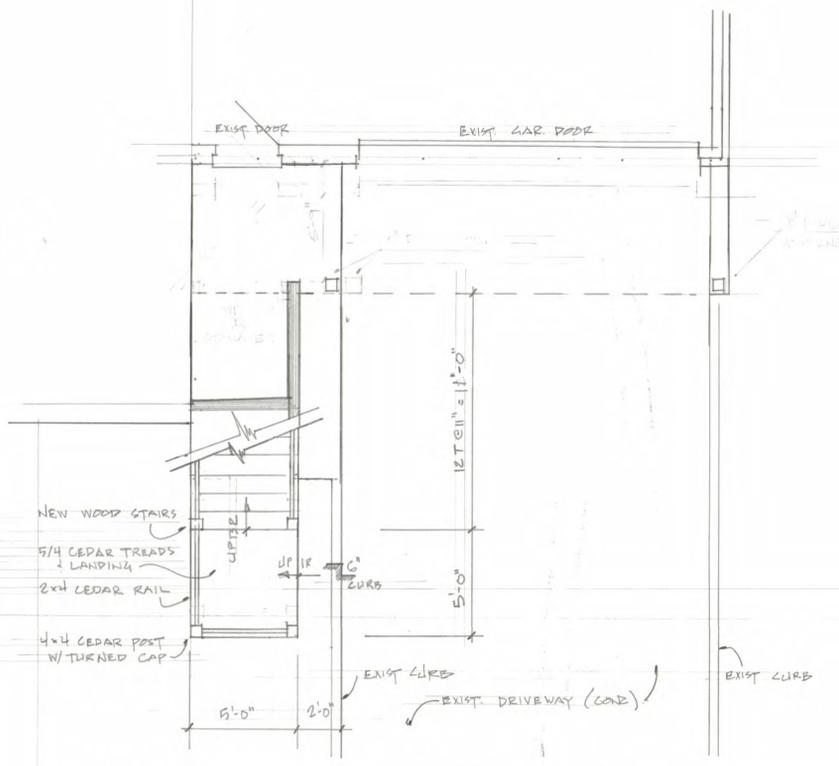


Proposed Remodeling For
 Mr. & Mrs. Doug Boncosky
 235 Coolidge
 Barrington, IL 60010

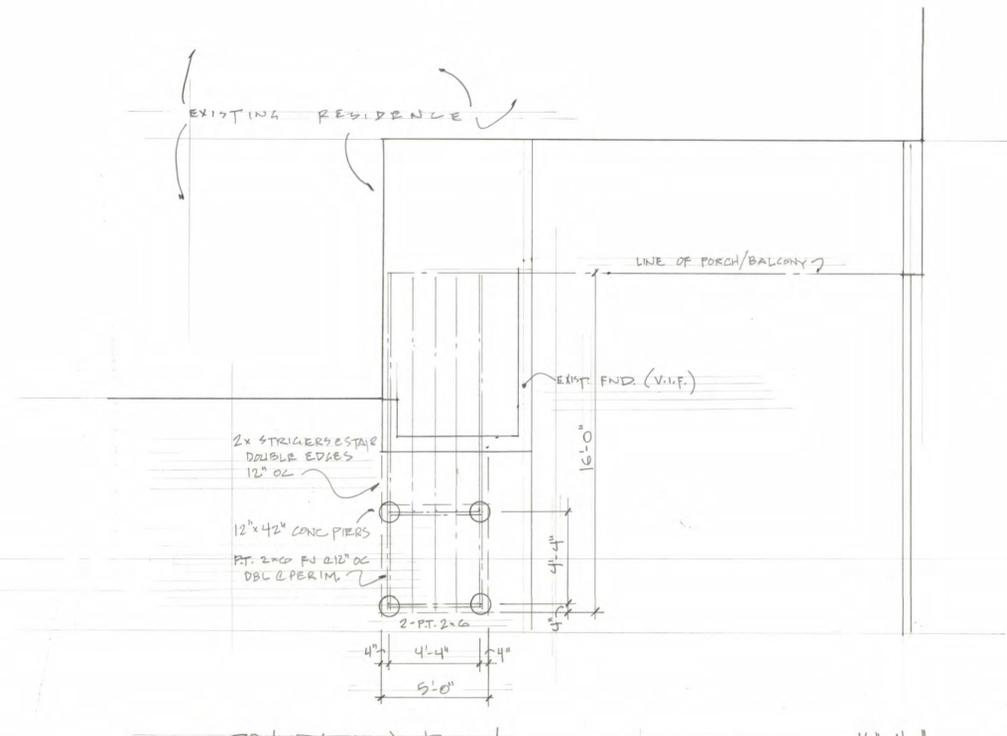
224-563-8494
 www.behance.net/swansonm
 www.houzz.com/pro/swansonm
 www.facebook.com/mcasarchitect

Mark Swanson, Architect
 N.CARB. IL, IN, MI, MN, WI, NY, VT
 SWASARCHIT@COMCAST.NET
 536 S. Summit St.
 Barrington, IL 60010

DATE	DESCRIPTION
4/14/20	PLIM 1
7/3/20	PLIM 3
9/14/20	ARC



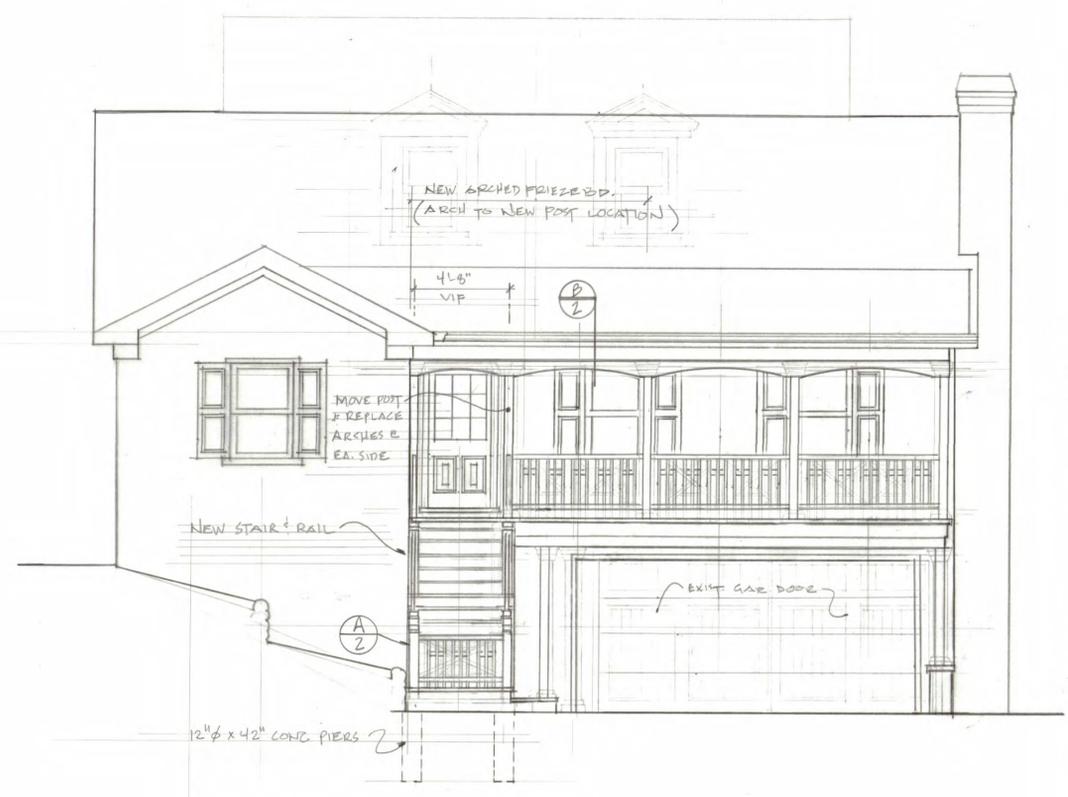
LOWER LEVEL PLAN 1/4" = 1'-0"



FOUNDATION PLAN 1/4" = 1'-0"



RIGHT SIDE ELEVATION "A" 1/4" = 1'-0"



FRONT ELEVATION "A" 1/4" = 1'-0"



Proposed Remodeling For
Mr. & Mrs. Doug Boncosky
235 Coolidge
Barrington, IL 60010

224-563-8494

Mark Swanson, Architect
NICARB, IL, IN, MI, MN, WI, NY, UT
swansonmrc@comcast.net
www.house.com/pro/swansonmrc
www.facebook.com/mrcsarchitect
536 S. Summit St.
Barrington, IL 60010

DATE
4/14/20 PLIM 1
7/3/20 PLIM 3
9/14/20 DEC



BARRINGTON
Be Inspired.

ARCHITECTURAL REVIEW COMMISSION STAFF REPORT

TO: Architectural Review Commission **MEETING DATE:** October 8, 2020
Preliminary Review

FROM: Development Services Department **PREPARED BY:** Jennifer Tennant
Asst. Director of Development Services

ARC 20-27: 610 S. Cook Street – HISTORIC/CONTRIBUTING

The Petitioner is requesting the approval of a Certificate of Appropriateness for the construction of a new detached garage and rear addition and front porch addition to the primary structure. The property is zoned R-6 Single Family Residential District/Historic Overlay District.

PROPERTY OWNER: Old Colony Builders, 689 Shoreline Rd., Lake Barrington, IL 60010
APPLICANT: Old Colony Builders, 689 Shoreline Rd., Lake Barrington, IL 60010
ARCHITECT: Ar-K-Teks Unlimited, LTD.

STAFF RECOMMENDATIONS

The ARC should consider the following items and provide preliminary feedback to the Petitioner:

1. The ARC should review the porch detailing (columns, railing, skirting) to ensure the architectural detailing is consistent with the style of the structure.
2. The original architectural detailing of the existing primary structure should be matched on the proposed addition.
3. The original chimney should be retained and restored or rebuilt to match existing.
4. Any proposed restoration or modifications to the original portion of the existing structure must be included on the final plans.
5. All material information, including door and window specifications, must be provided as part of the final submittal and clearly noted on the plans.
6. Section details for all major trim elements (cornice, window trim, etc.) and sections through all major components of the addition and porch must be provided as part of the final submittal.
7. The width of the porch column must be the same width as the lintel.
8. Eliminate the proposed apron board at the bottom of the vertical porch skirt.
9. Gutters must be shown on the final plans. Half round gutters are required.
10. All plans are subject to final building, engineering and zoning review prior to the issuance of a building permit.

PRELIMINARY FINDING OF FACT – New Noncontributing Detached Garage

Staff believes the proposal must substantially comply with the three (3) standards in Section 9.8-H of the Zoning Ordinance (See Below).

1. Scale and Form.
 - a. **Height and Width.** The proposed height and width shall be visually compatible with surrounding structures and streetscape.

- b. **Proportion of Principal Facades.** The relationship of the width to the height of the principal elevations shall be in scale with surrounding structures and streetscape.
- c. **Roof Shape.** The roof shape of a structure shall be visually compatible with the surrounding structures and streetscape.
- d. **Scale of a Structure.** The size and mass of the structures shall be visually compatible with the size and mass of surrounding structure and streetscape.

The Petitioner is proposing to construct a new non-contributing detached garage. The Petitioner is proposing a reasonably sized structure that is compatible with the mass and scale of the existing structure and proposed addition. The proposed roof pitch of the garage is 6/12 whereas the main gable pitch on the house is 12/12. The garage has a side gable design and the house has somewhat of a cross gable design. The ARC should determine if the roof pitch or gable orientation of the proposed garage should be modified to better complement the primary structure. The Design Guidelines indicate that a new accessory building should be smaller in scale than the primary building and simple in design but reflecting the general character of the primary building. Staff finds that the proposed garage does meet the intent of the Design Guidelines for new accessory buildings. Staff finds that this standard is met.

2. Composition of Principal Facades.

- a. **Proportion of Openings.** The relationship of the width to the height of windows and doors of the structure shall be visually compatible with surrounding structures and streetscape.
- b. **Relationship of Solids to Voids in Facades.** The relationship of solids to voids in the facade of the structure shall be visually compatible with surrounding structures and streetscape.
- c. **Relationship of Entrance Porch and Other Projections.** The relationship of entrances and other projections to sidewalks shall be visually compatible with surrounding structures and streetscape.
- d. **Relationship of Materials.** The relationship of the color and texture of materials including paint color of the facade shall be visually compatible with the predominant materials used in surrounding structures and streetscape. There shall be no permit or review required for the application of paint, however the paint color shall conform to the style of architecture as indicated in Recommendations for Paint and Paint Colors, to be established by the Architectural Review Commission.

The proposed garage will have appropriately scaled/placed doors and windows on all secondary elevations to avoid windowless facades. The proportions of the proposed windows appears to be appropriate for the size and scale of the structure. The final material selections have not been determined. All final material selections must be labeled on the final plans.

3 Relationship to Street.

- a. **Walls of Continuity.** Facades and site structures, such as walls, fences and landscape masses, shall, when it is characteristic of the area, form continuity along a street to ensure visual compatibility with the structures, public ways and places to which such elements are visually related.
- b. **Rhythm of Spacing and Structures on Streets.** The relationship of a structure or object to the open space between it and adjoining structures or objects shall be visually compatible with the structures, objects, public ways and places to which it is visually related.
- c. **Directional Expression of Principal Elevation.** A structure shall be visually compatible with the structures, public ways and places to which it is visually related in its orientation toward the street.
- d. **Streetscape and Pedestrian Improvements.** Streetscape and pedestrian improvements and any change in its appearance shall be compatible to the historic character of an H Historic Preservation Overlay District.
- e. **Subdivision of Lots.** The Zoning Official shall review subdivision plats proposed for property within an H Historic Preservation Overlay District and may require changes to ensure the proposed subdivision will be compatible with the historic character of the district and/or site(s). All

subdivisions shall meet the requirements of the Village of Barrington Subdivision Regulations

Staff finds that the overall design of the proposed detached garage is compatible with the primary structure and general character of the Historic District. The proposed structure will be located at the rear of the lot which allows the contributing primary structure to remain the focus of the streetscape. Staff finds that this standard is met.

PRELIMINARY FINDING OF FACT – Addition to Primary Contributing Structure

In considering an application for a Certificate of Appropriateness for alteration of a contributing structure, the Architectural Review Commission, or the Zoning Official, for administrative decision, shall find that the project substantially complies with all of the following general standards per Zoning Ordinance Section 9.8-G that pertain to the application and that the decision is in the best interest of the Village:

- 1. A property shall be used for its historic purpose or be used for a purpose that requires minimal change to the defining characteristics of the building and its site and environment.**

The current use of the structure is a single-family residence. No change to the existing use is proposed. Staff finds that this standard is met.

- 2. The historic character and architectural design of a property shall be retained and preserved. The removal and replacement of historic materials shall be permitted provided these materials shall be replaced with like materials in design, dimension, profile and texture. Re-creation of false details that are not original to the structure or the architectural style of the structure shall not be permitted.**

The Petitioner is proposing to remove the existing front porch and replace it with a new wrap-around style porch. The existing porch does not appear to be original to the structure as it has a concrete floor and metal railing. Staff finds that the proposed porch style is generally consistent with a folk structure but the ARC should discuss the porch detailing (columns, railing, skirting) to ensure that the proposed detailing is architecturally consistent with the structure. The Petitioner is proposing a large rear addition which is significantly off-set from the original structure. The original architectural detailing of the existing primary structure should be matched on the proposed addition.

- 3. All sites, structures and objects shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create a false sense of history or architecture are not allowed.**

The Petitioner is proposing a large rear addition to the existing primary structure. The proposed addition is significantly off-set from the existing structure on both sides and the height of the addition is in line with the ridge of the existing structure. The proposed addition is differentiated from the primary structure and does not seek to create a false sense of history. The architectural detailing on the addition should match the detailing on the original section of the structure. The original form of the structure remains largely intact and is not significantly impacted by the proposed addition. Staff finds that this standard is met.

- 4. Alterations or additions that have acquired historic significance in their own right shall be retained and preserved or re-created.**

The Petitioner is proposing to remove the existing front porch and a small rear addition. Neither of these elements are original to the structure. The front porch is clearly an addition which has not acquired its own historical significance due to the fact that it has a concrete floor and metal railings. The rear addition is in poor condition and removal of the addition allows the construction of a new “connector” which allows the form of the original structure to remain intact while still achieving a large addition to the home. Staff finds that this standard is met.

- 5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize**

a historic property shall be preserved or re-created. The removal and replacement of historic materials shall be permitted provided these materials are replaced with like materials in design, dimension, profile and texture.

The Petitioner has not indicated whether the materials on the original structure will be retained and restored or replaced to match the existing. This information must be provided on the final plans. The architectural detailing on the addition should match the original detailing on the existing structure.

- 6. Deteriorated architectural features may be replaced provided these materials are replaced with like materials in design, dimension, profile and texture. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.**

The Petitioner has not indicated whether the materials on the original structure will be retained and restored or replaced to match the existing. This information must be provided on the final plans. All original architectural detailing must be retained and restored or replaced with like materials in dimension, design, profile and texture as the original detailing. The architectural detailing on the addition should match the original detailing on the existing structure.

- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.**

No chemical or physical treatments are proposed. Staff finds that this standard is met.

- 8. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archaeological materials, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.**

The Petitioner is proposing to construct a two-story rear addition. The pitch of the main roofline of the addition does not match the 12/12 pitch found on the original section of the structure. The Petitioner is proposing a unique alternative with gable ends on the first floor that match the 12/12 pitch of the original section of the structure and also serve to break-up the mass of the side elevations. The ARC should review the side gable configuration and roof pitch on the proposed addition. Generally, the size and scale of the addition is compatible with the original structure due to the use of a "connector" which creates an appropriate off-set between the original structure and addition. Additionally, the ridge of the addition is in line with the ridge of the original structure. The impact of the addition will be relatively minimal to the streetscape. Staff finds that this standard is met.

- 9. Additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired. The new work shall be differentiated from the old and shall be compatible in massing, size, scale and architectural features to protect the historic integrity of the property and its environment.**

The proposed addition is significantly off-set from the original structure by approx. 7'-0" on the north side and approx. 12'-0" on the south side. The Petitioner is proposing the use of a "connector" to accomplish the addition which leaves the form of the original structure intact and relatively unimpaired by the addition. Staff finds that this standard is met.

- 10. Building materials inappropriate to the style and period of the building, such as vinyl or aluminum cladding, shall be prohibited. All roof materials shall be architectural asphalt shingles, cedar shake, slate or other historically accurate roofing material. All materials shall be subject to the Historic Overlay District Design Guidelines.**

The final material selections have not been determined. All final material selections must be labeled on the final plans.

11. Additional design standards adopted by the Architectural Review Commission and Village Board of Trustees.

Staff finds that the proposed project is in general compliance with the Historic District Design Guidelines.

610 S. Cook Street – Contributing



At this location is a one-and one-half-story, gabled ell Folk dwelling built ca. 1900. The house has a gable roof of asphalt shingles, a continuous concrete block foundation and an exterior of weatherboard siding. The main (E) façade has a hipped roof porch with original milled columns and a ca. 1970, wrought iron railings. The two entrances on the main façade retain their original, single-light glass and wood doors. Windows are original, one-over-one double hung wood sash with wood cornice surrounds. On the south façade is a single-story, original wing with original windows.

To the rear of the dwelling is a ca. 1970, frame, hipped roof garage. **Noncontributing**

PRELIMINARY SUBMITTAL CHECKLIST
610 S. COOK ST.
BARRINGTON, IL 60010
Submitted by Old Colony Builders, Inc.

1. We propose to improve the property as follows
 - A- Add a porch on the north side.
 - B- Add an addition on the west side.
 - C- Add a two-car garage in the southwest corner of the property.
 - D- Replace all windows with ARC approved units.
 - E- Replace exterior doors with ARC approved units.
 - F- Porches will have metal roofing.
 - G- Balance of the house and garage with new asphalt shingles.
 - H- Addition and garage with Hardi-board or other approved siding.
 - I- We will be removing the structure over the stairs to the basement.
According to the owner, the structure was added in 1932 or 33.
2. PRELIMINARY SUBMITTAL CHECKLIST is attached.
- 3.
4. A survey is enclosed showing the building as it exists. A plat is also attached showing the proposed additions and the proposed garage.
5. Photos of all 4 elevations are enclosed. Photos from inside the home looking out are also enclosed.
6. Preliminary drawings showing elevations and additions are enclosed.

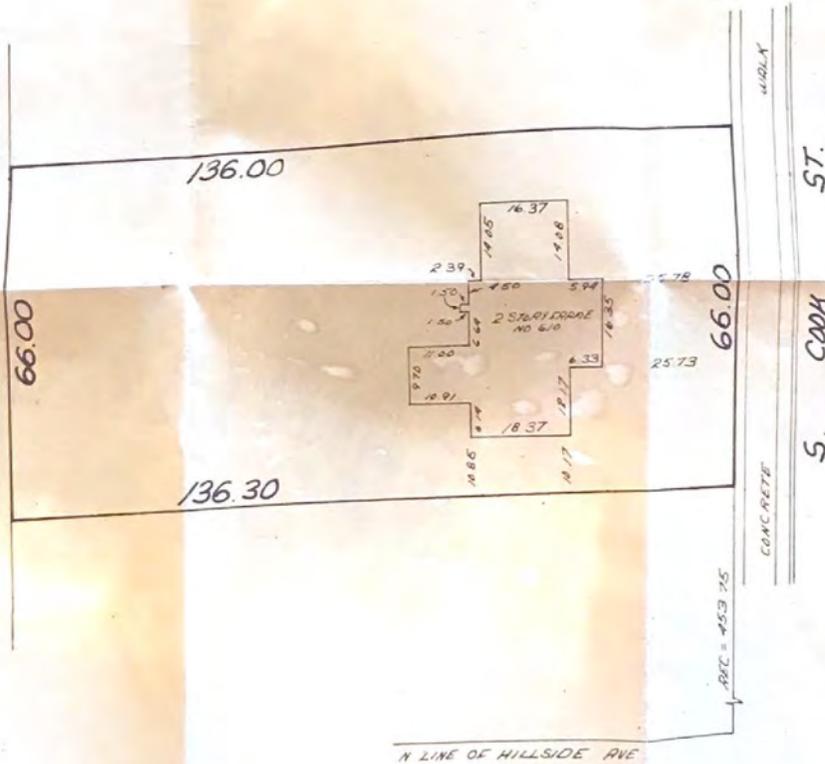
PLAT OF SURVEY

JOHN D. McTIGUE

registered land surveyor
 7 NORTH ADDISON ROAD
 ADDISON, ILLINOIS 60101
 PHONE 410 833 9677



That part of the Southeast $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 1, Township 12 North, Range 9 East of the Third Principal Meridian, described as follows: Commencing at a point 131.1 feet East of the Southwest Corner of Lot 73 in the County Clerk's Redivision of the Assessor's Division of a portion of the West $\frac{1}{2}$ of the North-West $\frac{1}{4}$ and the Southeast $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 1 aforesaid at the Southwest Corner of Lot 74 in said County Clerk's Redivision aforesaid, thence East parallel with the line of Lots 136.3 feet, thence North 66.0 feet, thence West parallel with the line of Lots 136.0 feet, thence South 66.0 feet to place of beginning in Cook County, Illinois.



STATE OF ILLINOIS }
 COUNTY OF DU PAGE } ss

I, JOHN D. McTIGUE, an Illinois Registered Land Surveyor, do hereby certify that I have surveyed the above described property and that the plat hereon drawn is a correct representation of said survey.

ADDISON, ILLINOIS, MAY 31, A.D. 1977



by John D. McTigue
 John D. McTigue
 ILS 142230

Scale: 1 inch equals 20 feet.
 Distances are marked in feet and decimal parts hereof.
 Ordered by: DONALD A DIXON
 Checked by: JCP
 Surveyed by: J D MCTIGUE
 Order No. 77-84





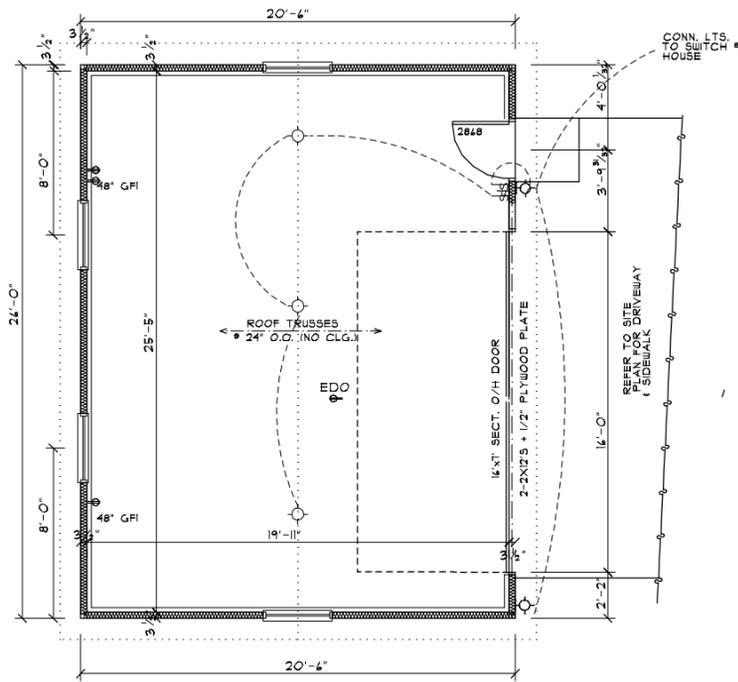
NOTICE
[Illegible text]



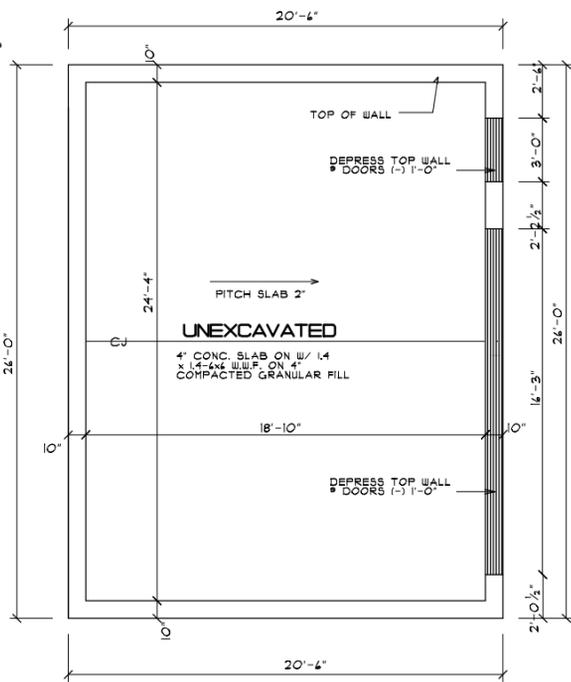




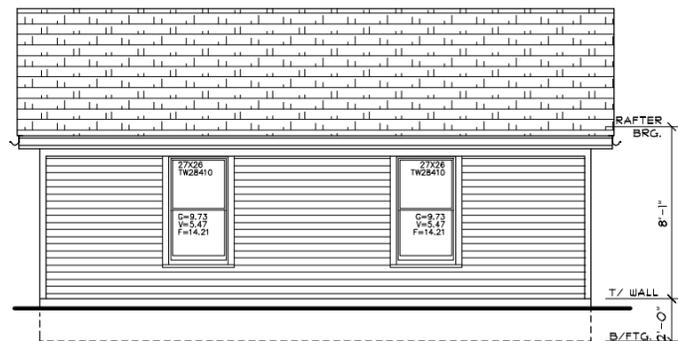




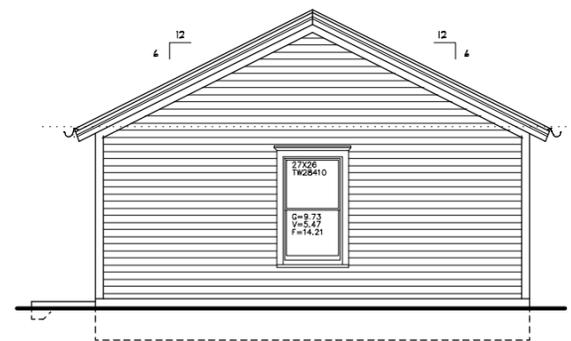
GARAGE PLAN
SCALE 1/4" = 1'-0"



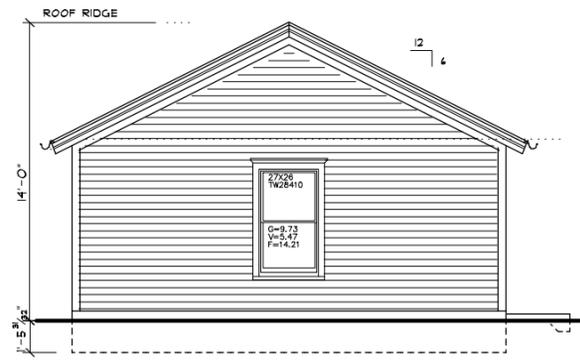
GARAGE FOUNDATION
SCALE 1/4" = 1'-0"



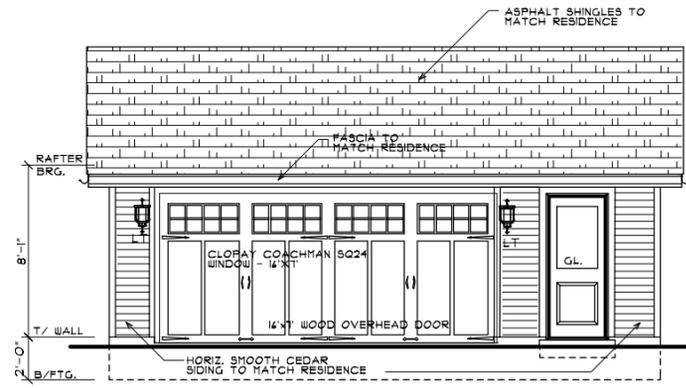
WEST ELEVATION
SCALE 1/4" = 1'-0"



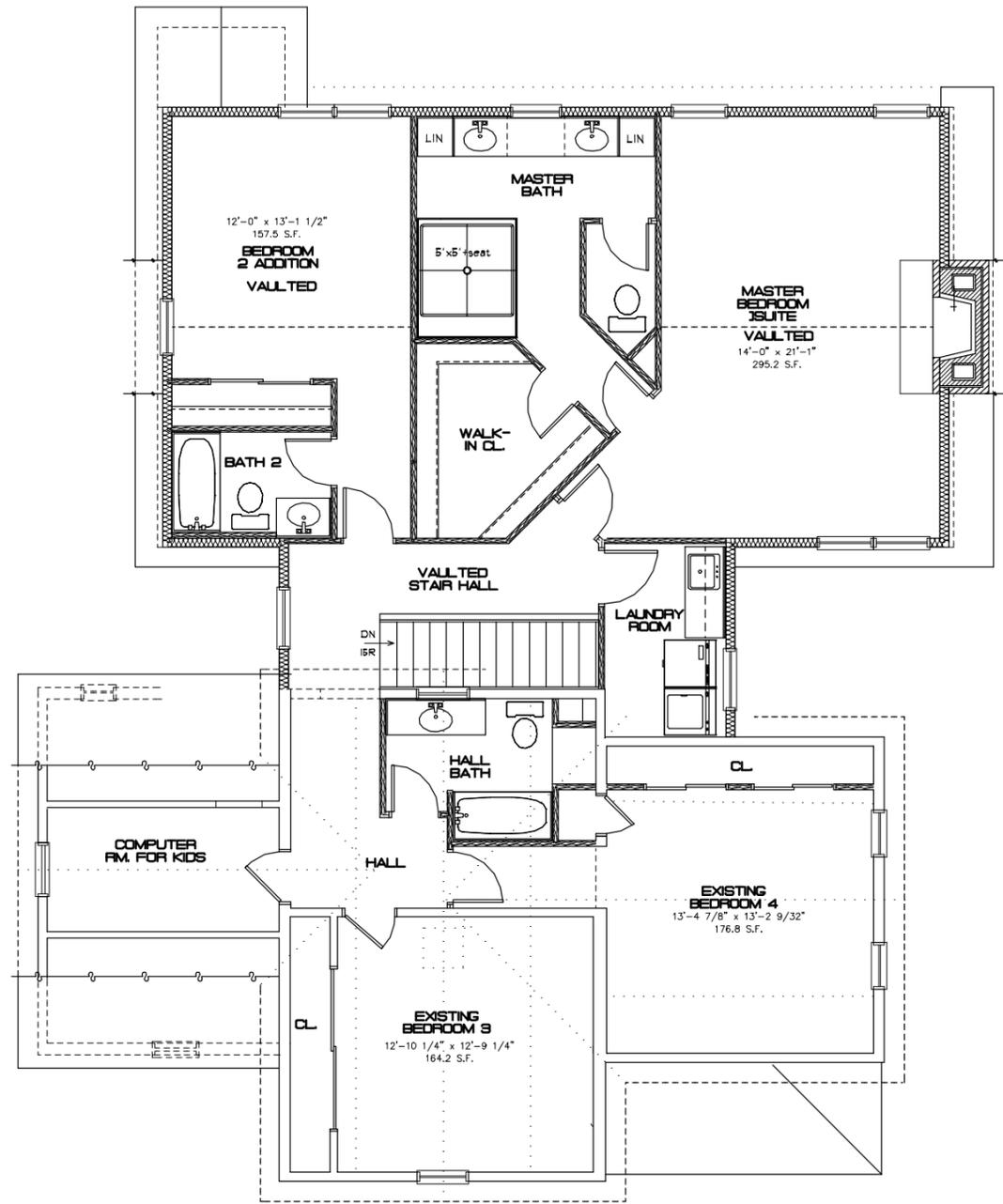
NORTH ELEVATION
SCALE 1/4" = 1'-0"



SOUTH ELEVATION
SCALE 1/4" = 1'-0"

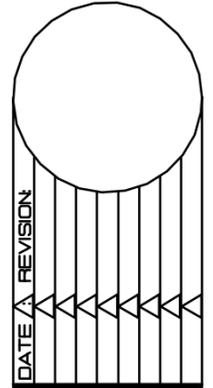


EAST ELEVATION
SCALE 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

ADDITION & REMODELING
610 S. COOK STREET
BARRINGTON, ILLINOIS



DATE / REVISION
300 N. 11th St.
Wheeling,
Illinois
60090
email: steve@arkteks.com
voice: (847) 215-9214
fax: call voice first
www.arkteks.com
AR K T E K S
U N L I M I T E D , L T D

DATE OF ISSUE: 9/23/20
JOB NUMBER: WE6CK610
DRAWN CHECKED: [initials]
TRM: SPK
9
A
2
9
5



SOUTH ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION - MOSTLY EXISTING
SCALE 1/4" = 1'-0"



NORTH ELEVATION
SCALE 1/4" = 1'-0"



WEST ELEVATION
SCALE 1/4" = 1'-0"

ADDITION & REMODELING
610 S. COOK STREET
BARRINGTON, ILLINOIS

Jim Carstrom 847-982-8287

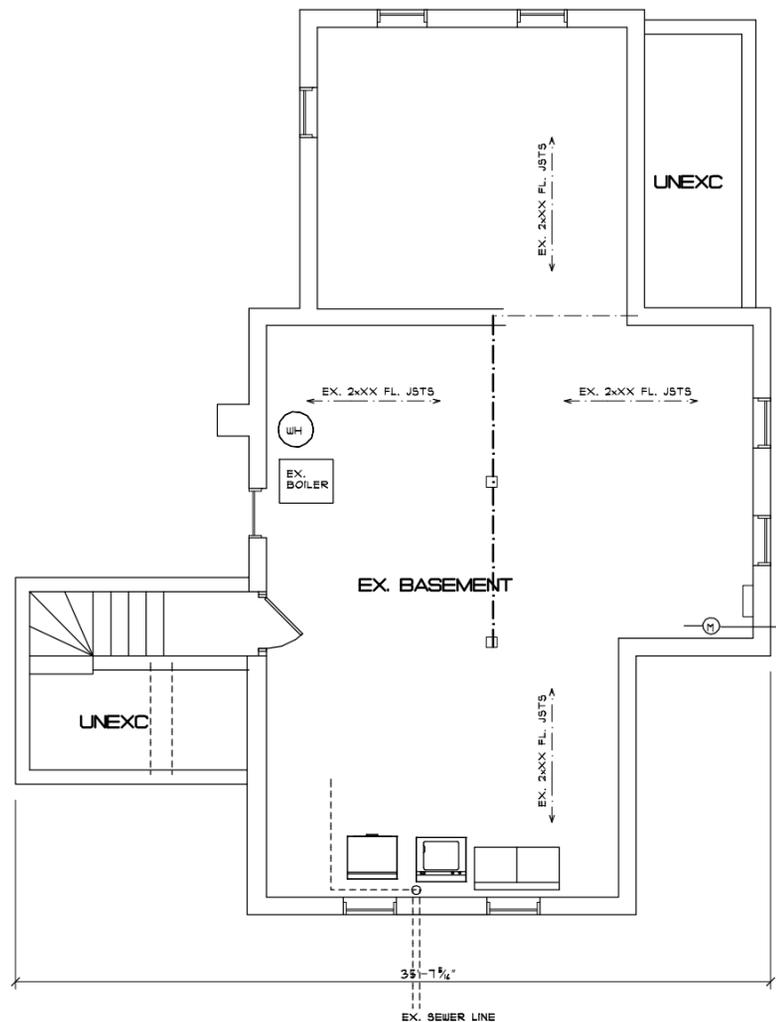
DATE REVISION

email: steve@arkteks.com
voice: (847) 215-9214
fax: call voice first
www.arkteks.com

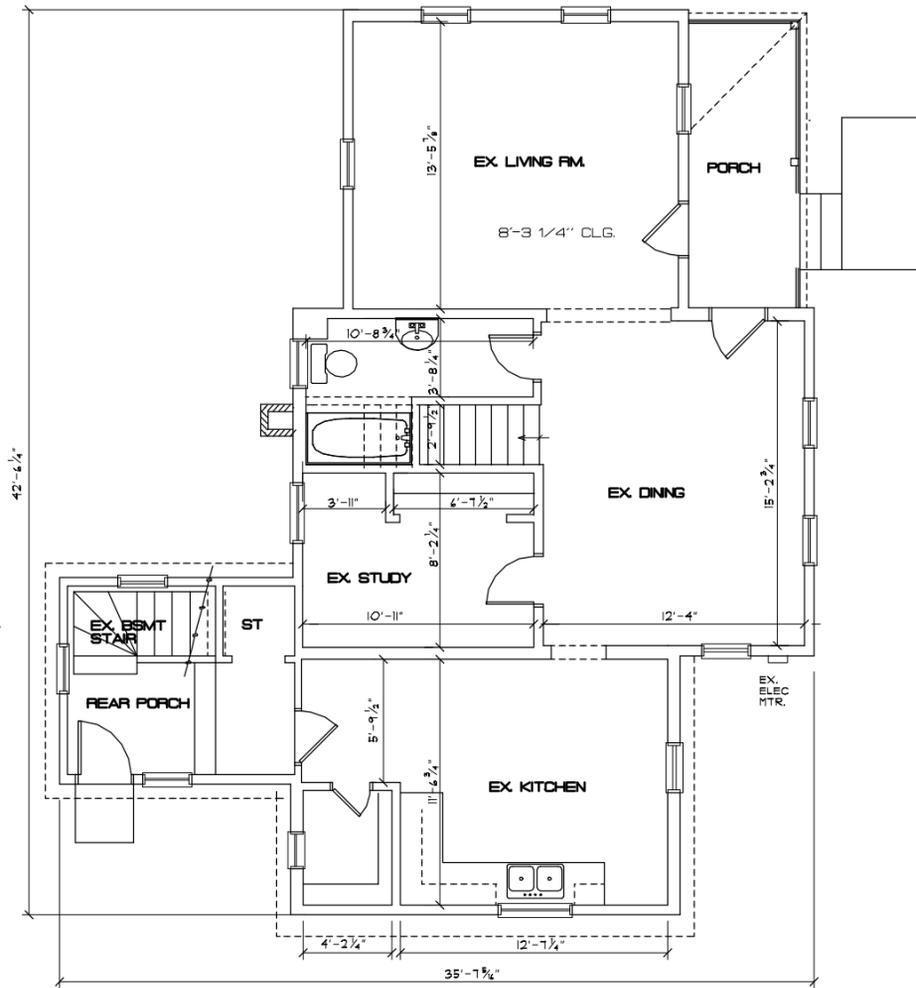
300 N. 11th St.
Wheeling,
Illinois
60090

DATE OF ISSUE: 9/21/20
JOB NUMBER: W6CK610
DRAWN CHECKED: TFM : SPK

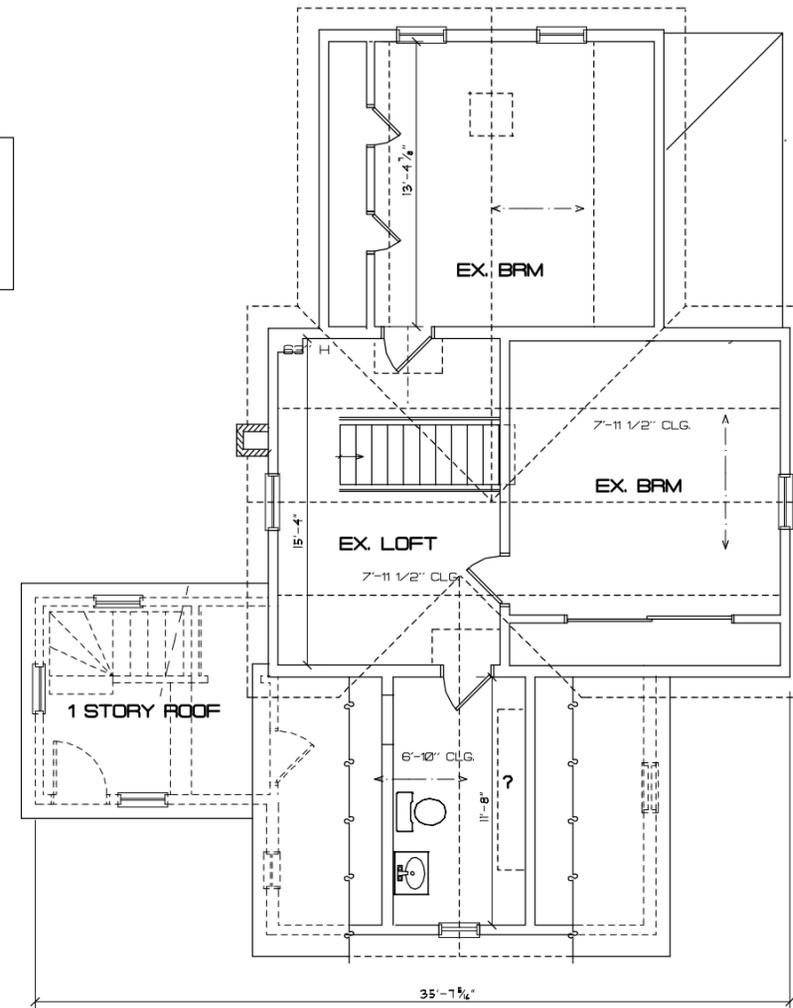
AR K TEK S
UNLIMITED, L P



FOUNDATION PLAN
SCALE 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE 3/16" = 1'-0"



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION
SCALE 1/4" = 1'-0"

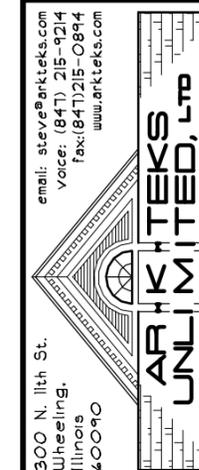
DATE REVISION

email: steve@arkteks.com
voice: (847) 215-9214
fax: (847) 215-0894
www.arkteks.com

300 N. 11th St.
Wheeling,
Illinois
60090

DATE OF ISSUE:
9/16/20
JOB NUMBER:
WESCK610
DRAWN CHECKED:
TFM : SPK

5 SHEETS
A-10
OF
5



EXISTING RESIDENCE
610 S. COOK STREET
BARRINGTON, ILLINOIS

Jim Coleman 847-982-8127



ARCHITECTURAL REVIEW COMMISSION STAFF REPORT

TO: Architectural Review Commission **MEETING DATE:** October 8, 2020
Public Hearing

FROM: Development Services Department **PREPARED BY:** Jennifer Tennant
Asst. Director of Development Services

ARC 20-28: 206-208 E. Russell Street – HISTORIC/CONTRIBUTING

The Petitioner is seeking approval of a Certificate of Appropriateness for the construction of two sets of front entrance steps to the existing front porch. The property is zoned R-6 Single-Family Residential District and is located in the H-Historic Overlay District. The subject property is approximately 9,147 sq. ft. All plans are subject to a final building, engineering and zoning review and approval prior to the issuance of a building permit.

PROPERTY OWNER: Trinuc, LLC, 33 W Higgins Rd., Suite 720, South Barrington, IL 60010
APPLICANT: Trinuc, LLC, 33 W Higgins Rd., Suite 720, South Barrington, IL 60010
ARCHITECT:

STAFF RECOMMENDATIONS

The ARC should consider the following items and provide guidance to the Petitioner prior to the final motion relating to ARC 20-28:

- **The Petitioner is not proposing a skirt detail. The ARC should determine if a skirt detail is necessary. The existing porch does not have a traditional vertical skirting.**
- **The ARC should review the proposed “half post” to accept the new code compliant railing.**
- **All plans are subject to final building, engineering and zoning review prior to the issuance of a building permit.**

Motion: If the ARC concurs with the Staff’s findings, conditions and required final details contained herein, Staff recommends that the ARC adopt these findings as their own and make a motion to approve ARC 20-28 subject to any additional conditions, recommendation or required final details established by the ARC.

FINDING OF FACT

In considering an application for a Certificate of Appropriateness for alteration of a contributing structure, the Architectural Review Commission, or the Zoning Official, for administrative decision, shall find that the project substantially complies with all of the following general standards per Zoning Ordinance Section 9.8-G that pertain to the application and that the decision is in the best interest of the Village:

1. **A property shall be used for its historic purpose or be used for a purpose that requires minimal change to the defining characteristics of the building and its site and environment.**

The property has been converted to a two-family residential dwelling. No change is proposed to the use of the property. Staff finds that this standard is met.

- 2. The historic character and architectural design of a property shall be retained and preserved. The removal and replacement of historic materials shall be permitted provided these materials shall be replaced with like materials in design, dimension, profile and texture. Re-creation of false details that are not original to the structure or the architectural style of the structure shall not be permitted.**

The Petitioner is proposing to replace the double set of stairs leading to the front porch. Due to the existing low porch wall, the railings will exceed the height of the porch wall. The Petitioner is proposing a solution to attempt to mimic the newel post at the porch wall to accept the new code compliant 36" railing. Staff finds that this standard is met.

- 3. All sites, structures and objects shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create a false sense of history or architecture are not allowed.**

The Petitioner is proposing to replace the existing double set of stairs to the existing front porch to bring the steps and railings into compliance with the building code. While a double set of stairs is not typical, the structure is a converted two-family dwelling and the double set of stairs is an existing condition leading to two front doors. Staff finds that this standard is met.

- 4. Alterations or additions that have acquired historic significance in their own right shall be retained and preserved or re-created.**

No additions or alterations which have acquired historic significance will be altered. Staff finds that this standard is met.

- 5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved or re-created. The removal and replacement of historic materials shall be permitted provided these materials are replaced with like materials in design, dimension, profile and texture.**

There are no proposed modifications to the original primary structure and no modification to existing materials or architectural detailing. Staff finds that this standard is not applicable.

- 6. Deteriorated architectural features may be replaced provided these materials are replaced with like materials in design, dimension, profile and texture. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects.**

There are no proposed modifications to the original primary structure and no modification to existing materials or architectural detailing. The Petitioner is proposing to replace the existing double set of porch stairs with new code compliant wood stairs and railings which will restore some proper architectural detailing such as proper stair treads with nosing, newel post and cap and a molded hand rail and shoe rail. Staff finds that this standard is met.

- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.**

No chemical or physical treatments are proposed. Staff finds that this standard is met.

- 8. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archaeological materials, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.**

The Petitioner is proposing to replace the existing double set of porch stairs with new code compliant

wood stairs and railings which will restore some proper architectural detailing such as proper stair treads with nosing, newel post and cap and a molded hand rail and shoe rail. Staff finds that the proposed modification is compatible with the structure and an enhancement to the character and streetscape in the area. Staff that this standard is met.

- 9. Additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired. The new work shall be differentiated from the old and shall be compatible in massing, size, scale and architectural features to protect the historic integrity of the property and its environment.**

The proposed stair replacement is not integrated into the essential form of the structure in any way Staff finds that this standard is met.

- 10. Building materials inappropriate to the style and period of the building, such as vinyl or aluminum cladding, shall be prohibited. All roof materials shall be architectural asphalt shingles, cedar shake, slate or other historically accurate roofing material. All materials shall be subject to the Historic Overlay District Design Guidelines.**

The Petitioner has proposed the following materials that he intends to use for the addition:

SIDING	N/A
TRIM	N/A
GUTTERS	N/A
SHINGLES	N/A
WINDOWS	N/A
DOORS	N/A
CHIMNEY	N/A
PORCH	Wood. OK.
OTHER	N/A

Staff finds that this standard is met subject to material clarification on permit plans.

- 11. Additional design standards adopted by the Architectural Review Commission and Village Board of Trustees.**

Staff finds that the proposed project is in general compliance with the Historic District Design Guidelines.

206-208 E. Russell Street – Contributing



Located at 206-208 East Russell Street is a two-story gable front Folk duplex constructed ca. 1920 on land that originally was occupied by a garage. The duplex has a continuous rock-faced concrete block foundation, an exterior of aluminum siding, a front gable roof of asphalt shingles and an interior brick chimney. On the main (S) façade is an original, two-story, hipped roof porch supported by square wood posts, a wood floor and closed frame railings covered with aluminum siding. The two entrances on the main façade both retain their original, single-light and three-horizontal wood panel doors. Windows in the dwelling are original one-over-one double hung wood sash with wood surrounds. A small, square louvered, metal attic vent is located in the gable field.



208

208

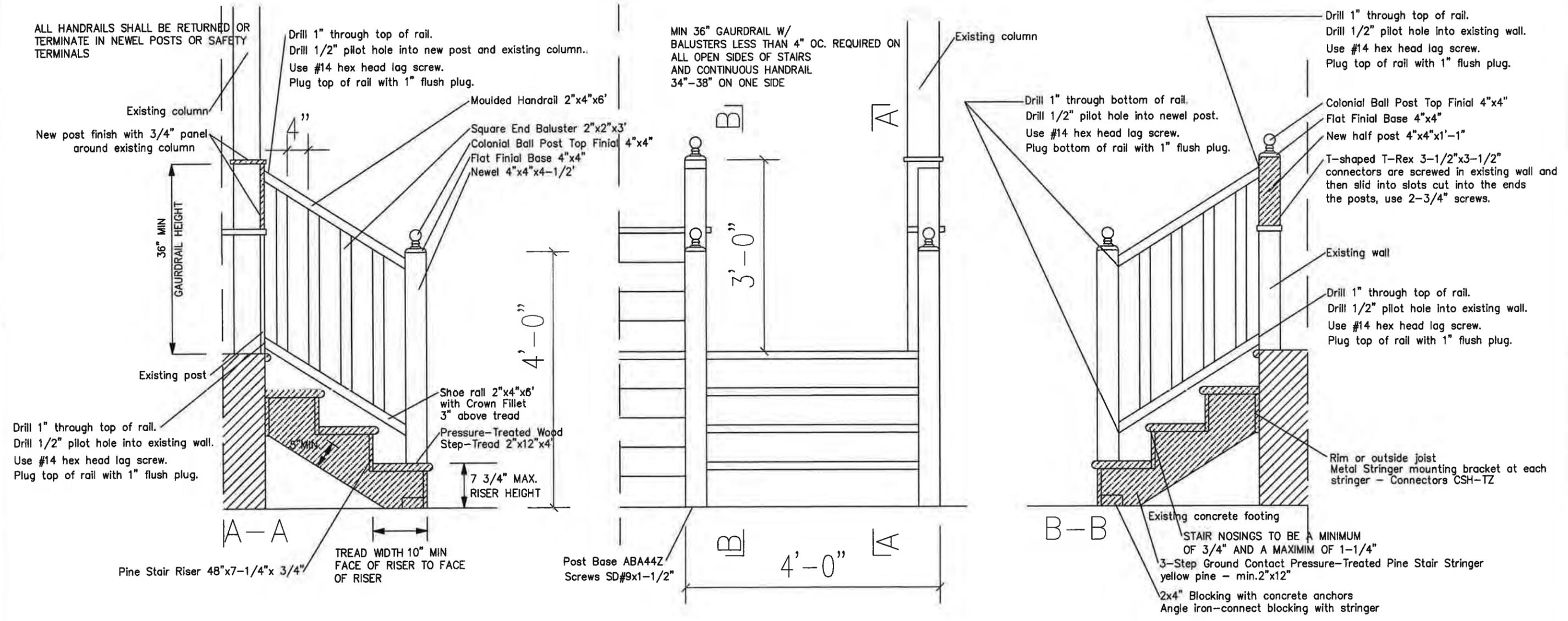
MI 699 TD



2
0
6

2
0
8





STAIRS & GAURDRAIL in Front - detail
 206 E Russell St Barrington IL
 208 E Russell St Barrington IL

Replacement porch stair, posts and railings should match the existing style. Use for replacement - solid wood made from southern pine. Balustrade, posts, railings, trims and accents - finish white color. Body if need it - Light Blue.





ARCHITECTURAL REVIEW COMMISSION STAFF REPORT

TO: Architectural Review Commission **MEETING DATE:** October 8, 2020
Preliminary Review

FROM: Development Services Department **PREPARED BY:** Jennifer Tennant
Asst. Director of Development Services

ARC 20-29: Prairie Middle School

The Petitioner is seeking approval of a Certificate of Approval for the construction of a 13,509 sq. ft. addition towards the north/rear side of the existing Prairie Middle School building. The project will also include the removal of the existing detached mobile classrooms on the north end of the site and minor site modification to accommodate the location of the addition including the reconfiguration of the rear access road and additional landscaping. The property is zone P-L Public Lands District. The proposed project is simultaneously going through the planned development amendment process to incorporate the proposed improvements into the existing approvals for the site. The Petitioner is also proposing to annex a small piece of adjacent property on Dundee Road into the site. All plans are subject to a final engineering and zoning review and approval prior to the issuance of a building permit.

PROPERTY OWNER: Community Unit School District #220
APPLICANT: Community Unit School District #220
ARCHITECT: DLR Group

STAFF RECOMMENDATIONS

The ARC should consider the following items and provide preliminary feedback to the Petitioner:

- **Consider the use of a brick that matches the existing building for a portion of the addition to tie the addition into the existing building.**
- **All plans are subject to final building, engineering and zoning review prior to the issuance of a building permit.**

STANDARDS FOR APPEARANCE

The purpose of these standards is to establish a designed objective of those items, which affect the physical aspect of the Village of Barrington's environment. Pertinent to appearance is the design of the site, building and structures, planting, street hardware, and miscellaneous other objects which are observed by the public.

These criteria are not intended to restrict imagination, innovation, or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will develop a satisfactory visual appearance within the city, preserve taxable values, and promote the public health, safety and welfare.

The following factors and characteristics which affect the appearance of a development will govern the Architectural Review Commission's evaluation of a design submission: (i) Conformance with the

Appearance Code; (ii) Logic of design; (ii) Exterior space utilization; (iii) Architectural character; (iv) Attractiveness; (V) Material selection; (vi) Harmony and compatibility; (vii) Circulation – vehicular and pedestrian; (viii) Maintenance aspects.

1. RELATIONSHIP OF BUILDINGS TO SITE

The primary purpose of this standard is to ensure that the proposed building is designed to accomplish a desirable transition with the streetscape and that the scale of the building is compatible with the site with regards to site planning, mass and scale.

The proposed addition is located towards the north/rear side of the existing middle school building between the front and rear segments of the building. The proposed addition is 13,509 sq. ft. and will replace a detached block of mobile classrooms currently located at the northwest corner of the site. Staff finds that the proposed addition is appropriately placed on the site to ensure compatibility with the existing site layout as well as with the mass and scale of the existing school building.

2. RELATIONSHIP OF BUILDINGS AND SITE TO ADJOINING AREA

The primary purpose of this standard is to address the relationship between the proposed site improvements and the surrounding properties as it relates to transitions, landscaping and screening.

The proposed addition will be constructed towards the north/rear side of the existing school building between the front and rear segments of the building. The proposed addition is well within the allowable setbacks for the P-L Public Lands District. The rear access road will be slightly reconfigured to accommodate the addition and new trees and landscaping will be installed accordingly. The proposed addition should have no impact on surrounding properties.

3. LANDSCAPE AND SITE TREATMENT

The primary purpose of this standard is to address the more technical aspects of site and landscape design such as topography patterns, grading, plant material, lighting, etc., all of which are addressed by Staff and the Plan Commission through the planned development review process. However, the ARC can consider the overall landscape design and its compatibility with the building and site.

4. BUILDING DESIGN

The primary purpose of this standard is to consider the overall building design, compatibility with the neighborhood, building materials, colors, screening of mechanicals, waste receptacles, etc.

The proposed building addition is in keeping with scale, mass, shape and size of the existing school building. The addition is located towards the north/rear side of the school between the front and rear segments of the building and will not be visible from the front of the building or Dundee Road. Staff recommends that some element from the existing school building is carried through to the proposed addition. Staff recommends considering the use of a matching brick on a portion of the proposed addition.

5. MISCELLANEOUS STRUCTURES AND STREET HARDWARE

The primary purpose of this standard is to consider the design and compatibility of miscellaneous structures and street lighting.

No other miscellaneous site improvements are proposed at this time.

6. MAINTENANCE – PLANNING AND DESIGN FACTORS

The primary purpose of this standard is to consider future maintenance of the proposed development.

Staff finds that the Petitioner has selected quality materials for the proposed addition and will continue to maintain the property in the same fashion as it is currently maintained.



Architecture Engineering Planning Interiors

333 West Wacker Drive, Suite 850
Chicago, IL 60606

September 14, 2020

Jennifer Tennant, AICP
Assistant Director of Development Services
Village of Barrington
200 S. Hough Street
Barrington, IL 60010

Re: Architectural Review Commission for Barrington Middle School Prairie Campus
40 E. Dundee Road Barrington, Illinois 60010

Dear Jennifer Tennant

Barrington Middle School-Prairie Campus is one of two middle schools in the Barrington 220 School District. The school is located on 40 E. Dundee Road in Barrington, Illinois, 60010. Existing school was built in 1991, with a classroom addition added to the north classroom wing in 1999. On the east part of the site there is a temporary 6 classroom mobile structure. The school is currently accommodating roughly 1,500 students with a student/teacher ratio of 16:1. Prairie Middle School is approximately 145,550 square feet and serves grades 6,7 and 8.

The original 1991 building contains two classroom wings (north and east), media center, gymnasium, locker rooms, music rooms, technology lab, administrative offices, toilet rooms and building support spaces (electrical rooms, AV rooms, mechanical rooms, janitor closets, circulation). The north classroom wing is two stories, and contains 16 classrooms, 4 science classrooms (2 of which contain fixed science laboratory casework), 4 pull-out rooms, 2 staff offices, toilet rooms and building support spaces. The east classroom wing is one story, and contains 8 classrooms, 2 science classrooms with fixed science laboratory casework, 2 pull-out rooms, 1 staff office, toilet rooms and building support spaces.

The two story 1999 addition contains 8 classrooms, 2 science classrooms with fixed science laboratory casework, 2 pull-out room, 2 staff offices, toilet rooms, and building support spaces.

The site also contains a temporary 6 classroom mobile structure. The structure only contains 6 classrooms and a circulation corridor. Students regularly cross the service road and enter the east classroom wing of the existing building to be able to use the building facilities and connect with the rest of the student population. The existing 6 classroom mobile structure is to be demolished it its entirety.

The proposed project scope of work is a combination of a new addition and selective areas of renovation of the existing building including site renovation.

The proposed two-story addition is roughly 13,509 gross square feet, and will include 8 classrooms and multiple collaboration areas, three unisex bathrooms and building support spaces. The addition connects to the existing building on both levels. The proposed addition classroom count of 8 new classrooms depicts the 6 removed mobile classrooms and 2 additional classrooms for the incremental growth in the district.

The scope of work for renovation of existing building includes improvements to 2 existing science classrooms with fixed science laboratory casework, and improvements of student and staff toilet rooms. Toilet room renovations include, removal of existing toilet stall partitions, removal of existing tile floor and tile wall base, removal of all plumbing fixtures, removal of existing ceiling grid, tile and lighting and removal of existing accessories. Providing new tile floor finish with integrated tile cove wall base, new toilet fixtures, new toilet stalls, new accessories, new ceiling, new lighting, painting walls.

A significant portion of the exterior walls will consist of structural insulated precast panels. The 12" precast sandwich panel consists of a 3 1/2" exterior precast layer with custom mix design, reveal pattern, and finish pattern, a 4 1/2" extruded polystyrene insulation layer and a 4" interior precast layer with steel trowel finish. The main exterior finish of the structural precast panels is a sand blasted finish. At select areas, above windows, applied acid etching to the precast surface will add highlights to the façade. Adding additional texture to the façade, at select areas between windows and along the base, the use of a concrete form liner product (Basis of design - Reckli - Wood Board Texture (2/252 Taipa). Refer to the renderings for exterior reveal patterns and texture. Fire Walls are 12" Nominal CMU block walls extending 30" over the height of existing building.

The exterior storefront system is a 6-1/2" stick built, aluminum, thermally broken storefront system, including operable panels where depicted, 1" insulated glazing, with a finish matching existing building (dark bronze anodized). Punched openings are a 6 1/2" aluminum, thermally broken window system with operable vents, or operable aluminum window system as mentioned above, provided that the material, operation, and profile match the existing building glazing systems. Finish to match existing building (dark bronze anodized).

Along the perimeter of each opening in precast, at windows and storefront systems, a prefinished color 1/8" aluminum bent plate is to be provided to frame in the openings. Prefinished color to be at all exposed edges. Plate to be set in a bed of sealant and anchor to precast panels and be sealed against the window jambs. Frame to be 2" wide surround at face of the precast. Refer to renderings for locations. Glazing throughout the building is 1" thick, insulated, low-e coated glass. All glass accessible from the ground at the first floor will be laminated for security. Spandrel glass depicted in renderings, will have additional back pans and insulation for added thermal performance and at floor lines will be a fire rated assembly.

The roofing system will consist of a fully adhered white TPO membrane roof on a cover board; 6" of polyisocyanurate insulation minimum (2 layers at 3" with staggered joints, first layer mechanically fastened, top layer fully adhered), air and vapor barrier over sheathing on a metal roof deck. Additional tapered insulation occurs at crickets and to provide slopes to drains. Roof structure is assumed flat due to geometry of the addition. Perimeter wall coping is prefinished break metal, 2 colors. Refer to renderings for locations. It is anticipated that roof screen systems surrounding some of the roof mounted mechanical equipment will be required. If required pre-finished, extruded aluminum unit mounted screens will be provided, system is similar to C/S.

Please see provided drawings and renderings for additional information. Samples of building materials are available upon request.

Sincerely,
DLR Group

A handwritten signature in black ink, appearing to read 'Rebecca Buchmeier', with a long horizontal flourish extending to the right.

Rebecca Buchmeier, AIA
Project Manager



Legend

-  Village Limits
 -  Project Site
 -  250 Buffer
 -  Tax Parcels
- Zoning**
- ZONEDESC
-  O-R: Office/Research District
 -  P-L: Public Lands District
 -  R-8: General Residential District
 -  R-C: Recreation Conservation District

Unincorporated lot to be annexed

Forest Preserve District of Cook County

Village of Inverness

DUNDEE RD

Sources: Nearmap US Vertical Imagery. Copyright nearmap 2015



1 inch = 190 Feet

Location Map: Prairie School
Barrington School District 220, Barrington, IL



Copyright nearmap 2015

GHA GEWALT HAMILTON
ASSOCIATES, INC.
www.gha-engineers.com



1 in = 140 ft

Barrington Middle School - Prairie Campus

Gewalt Hamilton Associates, Inc.



Photo #3: Looking East Towards Mobile Classrooms



Photo #4: Looking Southwest Towards School Building



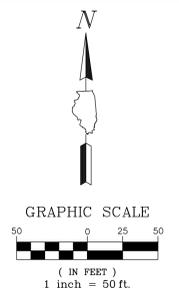
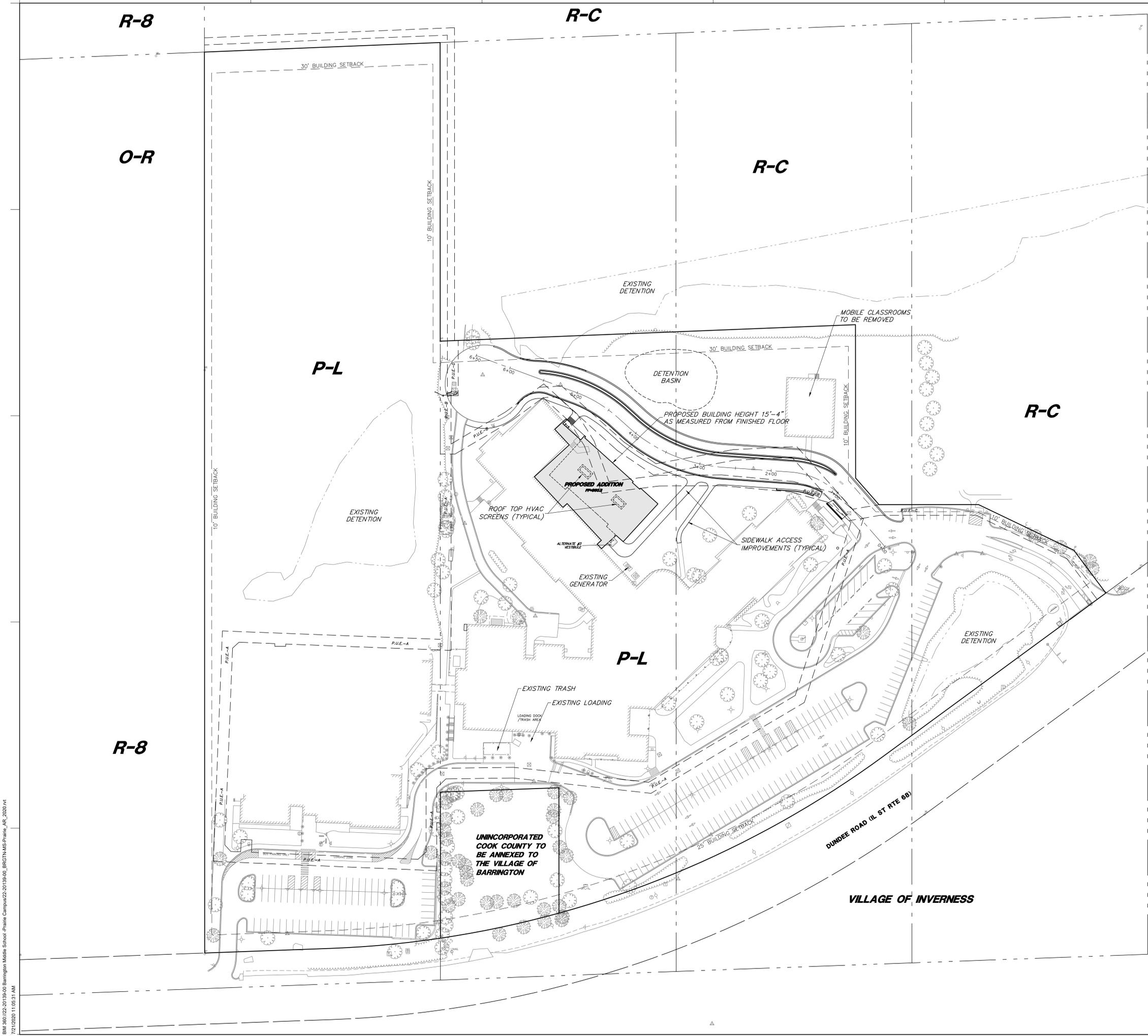
Photo #1: Looking Northeast Towards Property Line



Photo #2: Looking Southeast Towards School Building



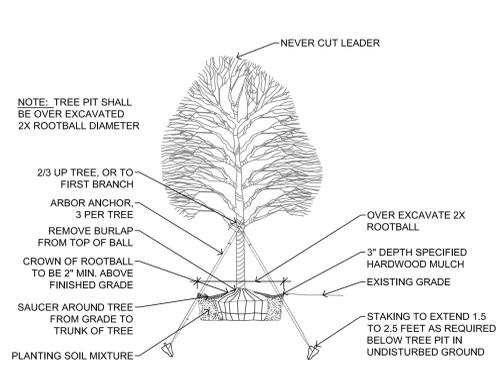
Photo #5: *Looking East Towards School Building*



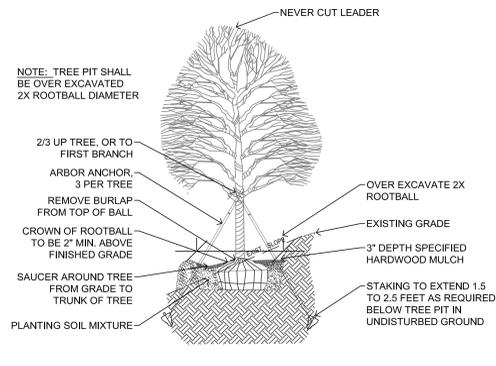
PRAIRIE MIDDLE SCHOOL & EARLY LEARNING CENTER
PARKING COUNTS

SCHOOL	ADA	REGULAR	TOTAL
PRAIRE	8	161	169
E.L.C.	3	71	74
TOTAL	11	232	243

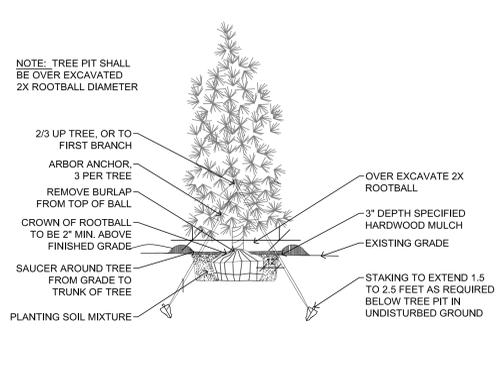
B:\360722-20139-00 Barrington Middle School - Prairie Campus\22-20139-00_BRC\TN-MS-Prairie_AR_2020.rvt
 7/21/2020 11:05:31 AM



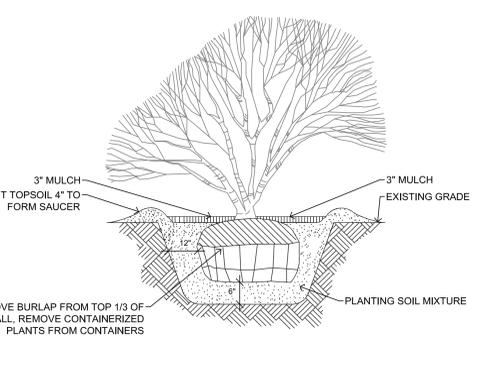
11
14.0
NO SCALE
SECTION



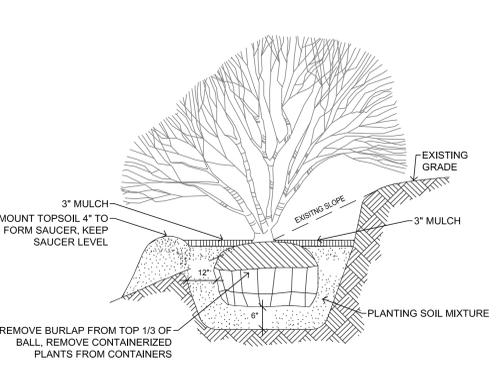
12
14.0
SCALE: NO SCALE
SECTION



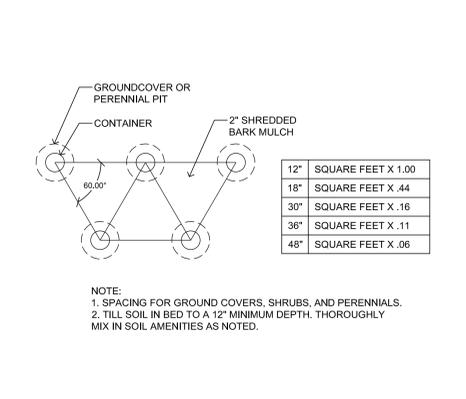
13
14.0
SCALE: NO SCALE
SECTION



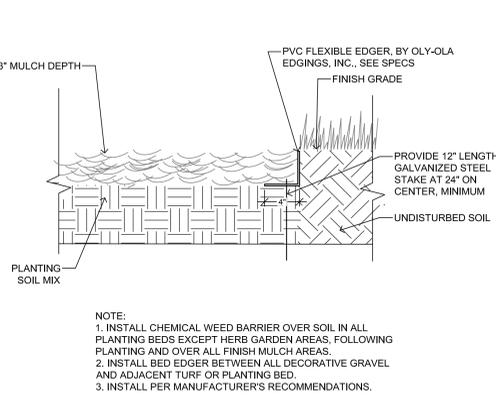
14
14.0
SCALE: NO SCALE
SECTION



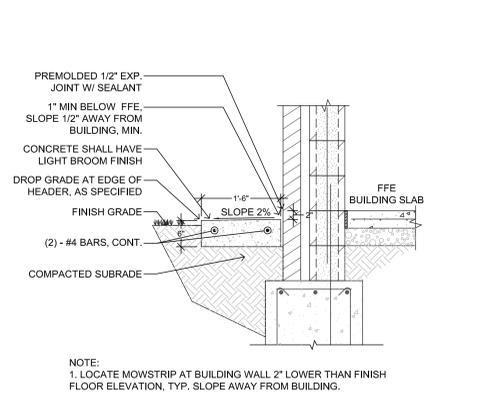
15
14.0
NO SCALE
SECTION



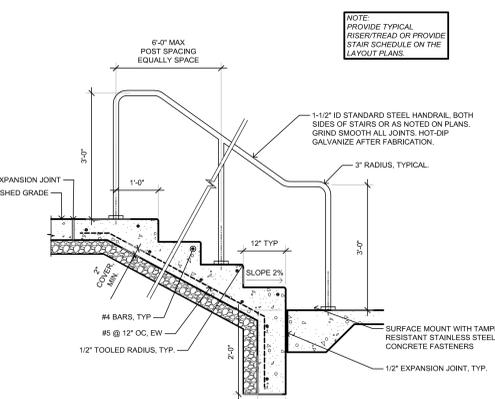
21
14.0
SCALE: NO SCALE
PLAN



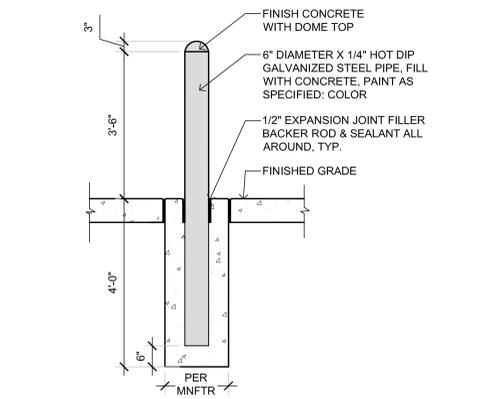
22
14.0
SCALE: NO SCALE
SECTION



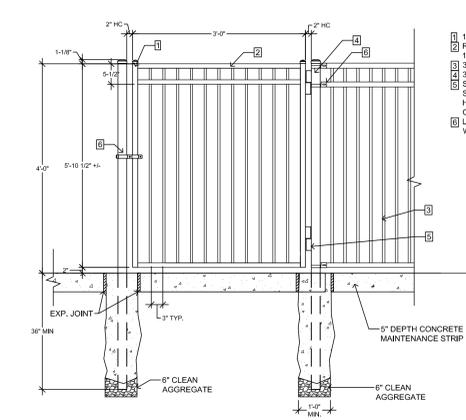
23
14.0
SCALE: NO SCALE
SECTION



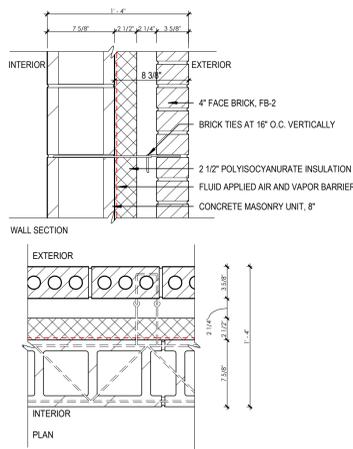
24
14.0
SCALE: NO SCALE
SECTION



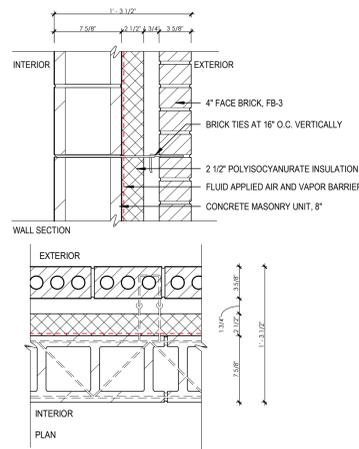
25
14.0
SCALE: NO SCALE
SECTION



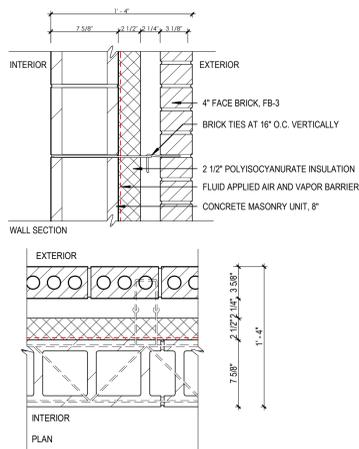
31
14.0
SCALE: NO SCALE
SECTION



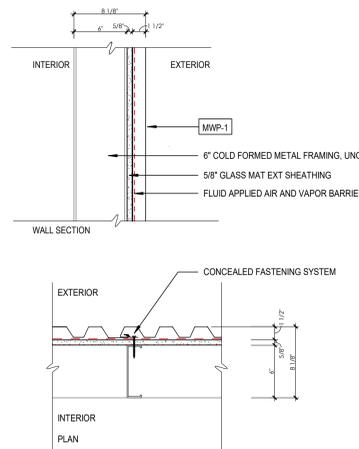
W-1 SYSTEM
16" MASONRY
CAVITY WALL



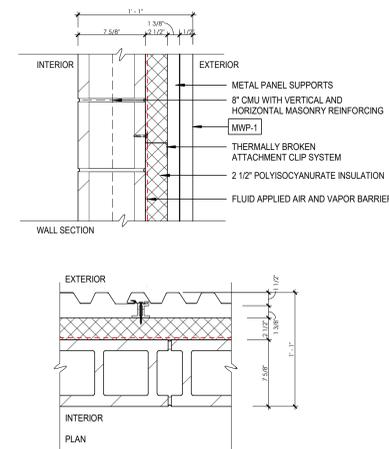
W-2 SYSTEM
15-1/2" MASONRY
CAVITY WALL



W-2* SYSTEM
16" MASONRY
CAVITY WALL



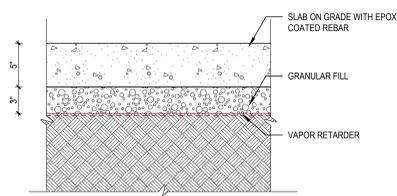
MET-1A SYSTEM
METAL PANEL
RAINSCREEN



MET-1B SYSTEM
METAL PANEL
RAINSCREEN

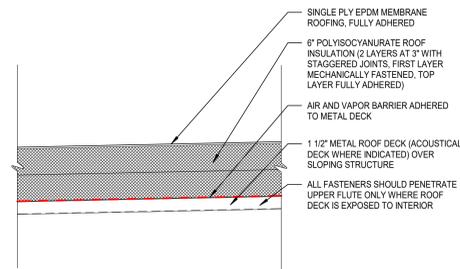
EXTERIOR WALL TYPES

SCALE: 1 1/2" = 1'-0"

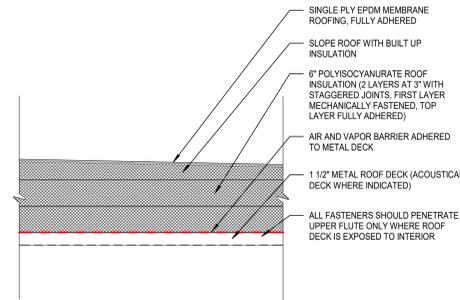


F-1 FLOOR ASSEMBLY

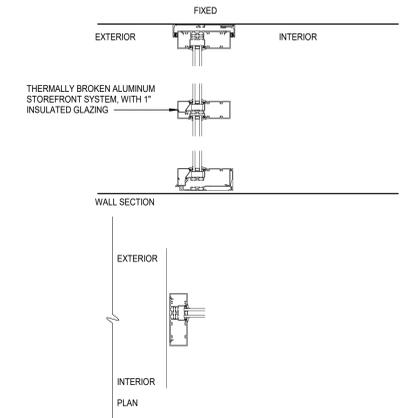
SCALE: 1 1/2" = 1'-0"



R-1 ROOF SYSTEM
LOW SLOPE STEEL ROOF STRUCTURE
SINGLE PLY MEMBRANE ROOFING SYSTEM



R-2 ROOF SYSTEM
FLAT STEEL ROOF STRUCTURE
SINGLE PLY MEMBRANE ROOFING SYSTEM
ROOF SLOPE IS BUILT UP WITH INSULATION



W-6 SYSTEM
6" ALUMINUM STOREFRONT SYSTEM

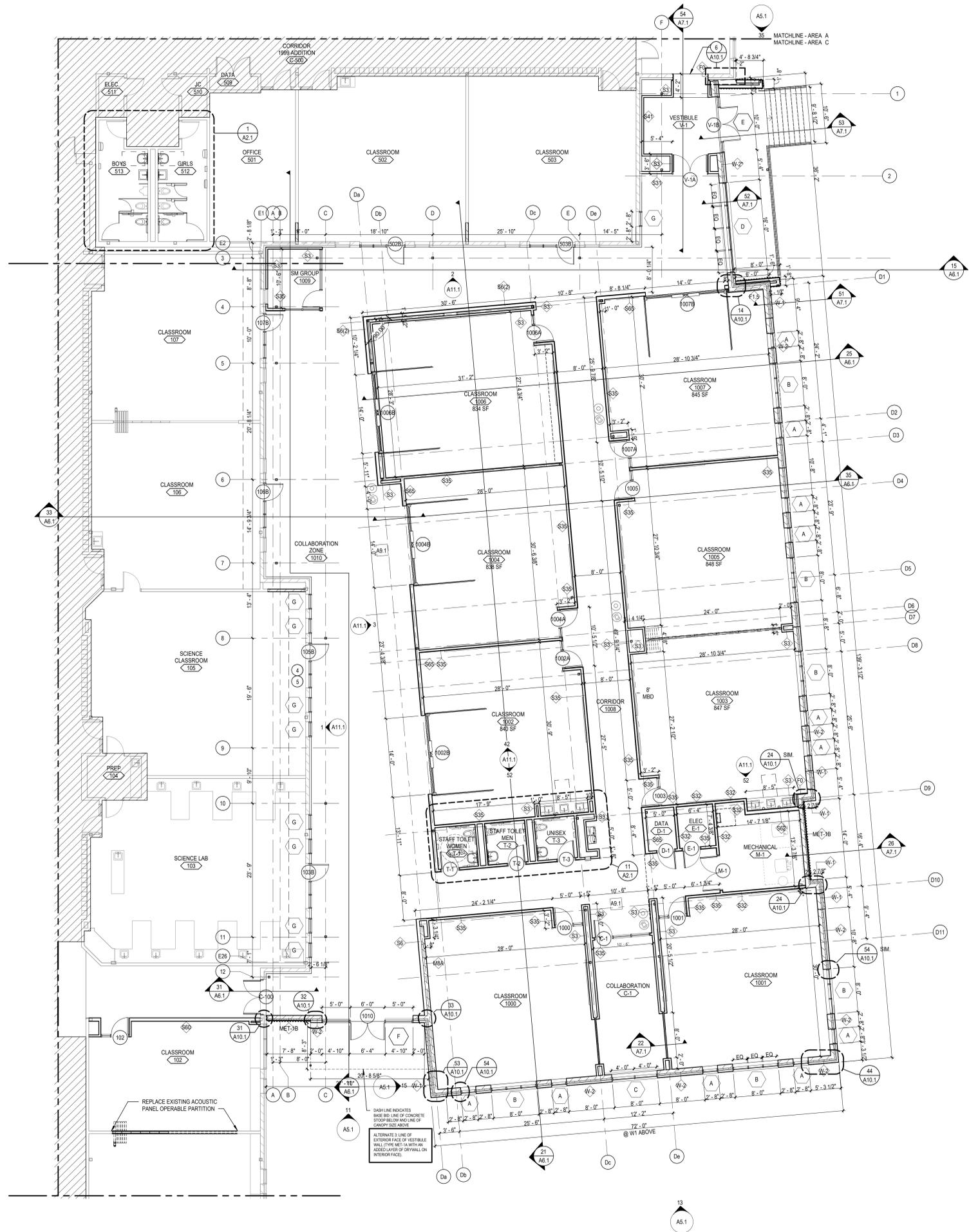
BM 360/22-20139-00 Barrington Middle School - Prairie Campus 22-20139-00_BRG.TN/Prairie_AR_2020.v1
09/11/2020 2:11:30 PM



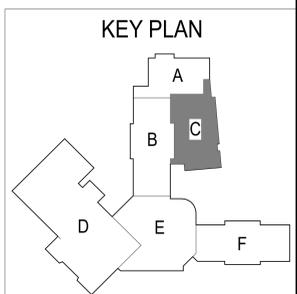
REFERENCE PLAN - LOWER LEVEL

SCALE: 3/16" = 1'-0"

BM 360/22-20139-00 Barrington Middle School - Prairie Campus22-20139-00_BRG2TN-Prairie_AR_2020.rvt
 09/11/2020 2:11:32 PM



FLOOR PLAN, LOWER LEVEL - AREA C
 SCALE: 1/8" = 1'-0"





1 PERSPECTIVE - SOUTH ENTRANCE
A5.0 SCALE



3 PERSPECTIVE - EAST ENTRANCE
A5.0 SCALE



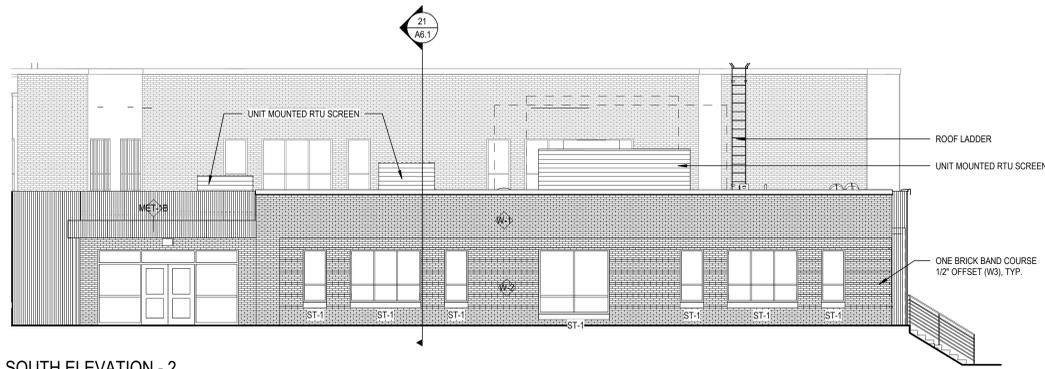
2 PERSPECTIVE - NORTHWEST
A5.0 SCALE



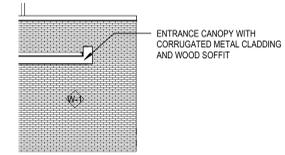
4 PERSPECTIVE - SOUTHWEST
A5.0 SCALE



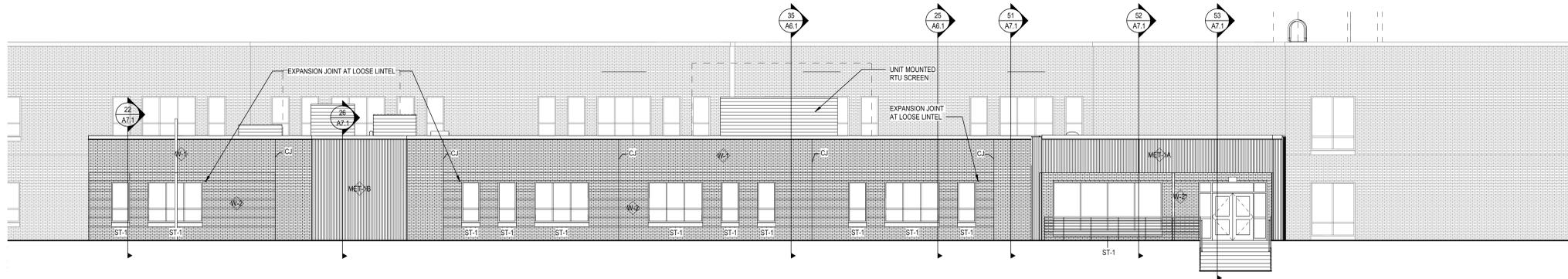
11 SOUTH ELEVATION - 1
AS.1 SCALE: 1/8" = 1'-0"



13 SOUTH ELEVATION - 2
AS.1 SCALE: 1/8" = 1'-0"



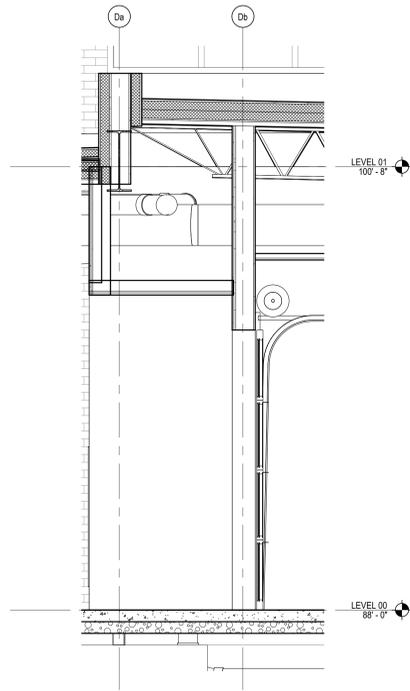
15 WEST ELEVATION
AS.1 SCALE: 1/8" = 1'-0"



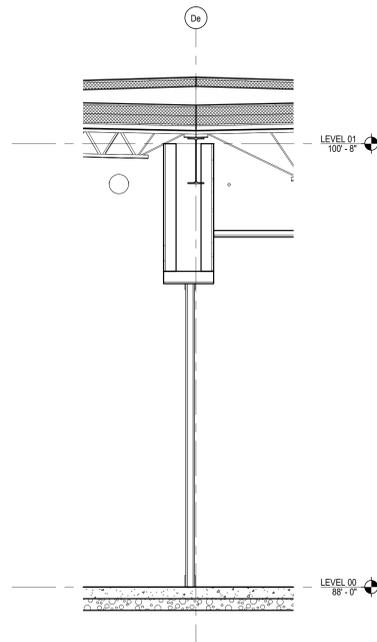
21 EAST ELEVATION
AS.1 SCALE: 1/8" = 1'-0"



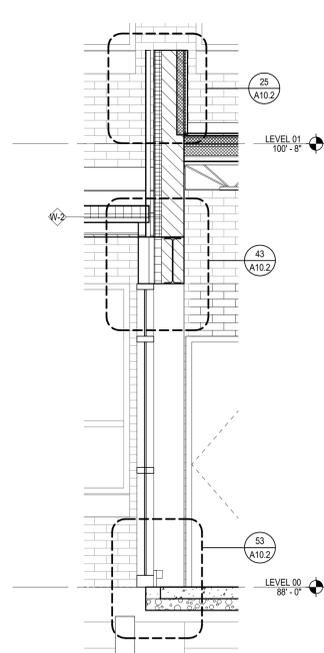
35 NORTH ELEVATION
AS.1 SCALE: 1/8" = 1'-0"



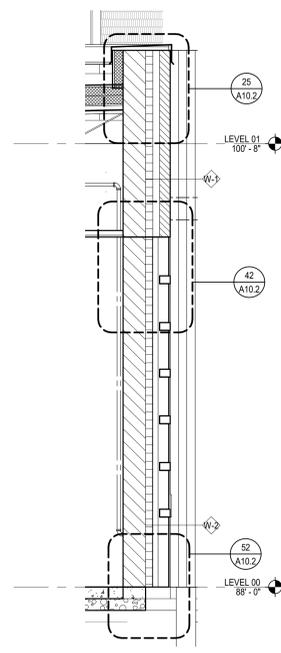
21 WALL SECTION
SCALE: 1/2" = 1'-0"



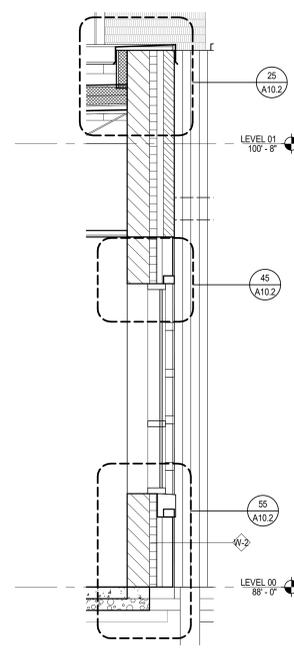
22 WALL SECTION
SCALE: 1/2" = 1'-0"



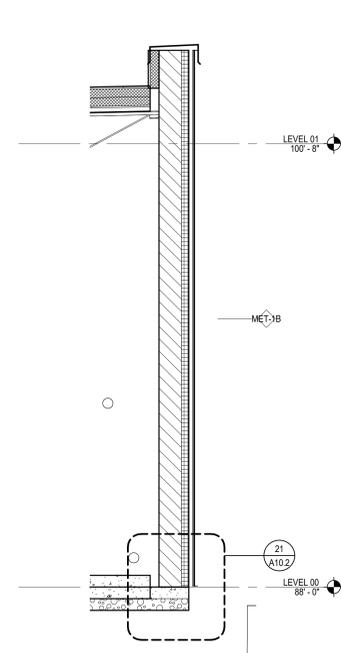
23 WALL SECTION
SCALE: 1/2" = 1'-0"



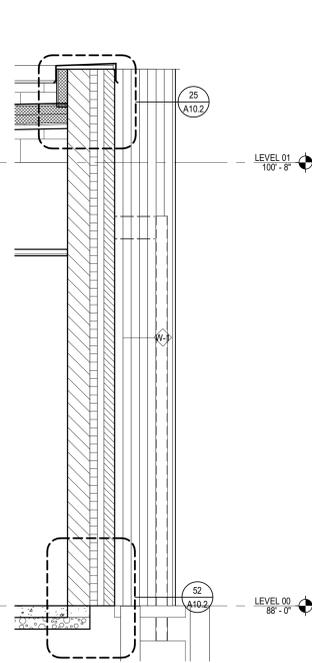
24 WALL SECTION
SCALE: 1/2" = 1'-0"



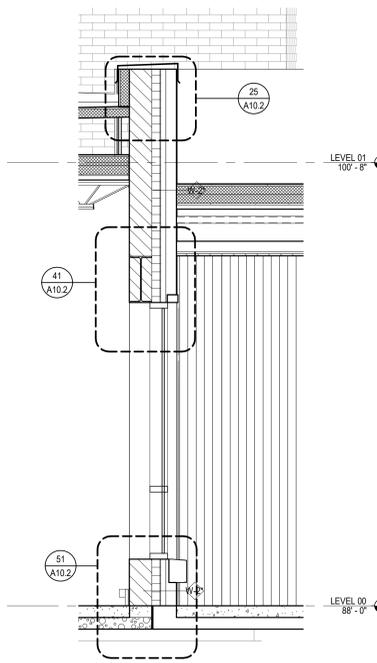
25 WALL SECTION
SCALE: 1/2" = 1'-0"



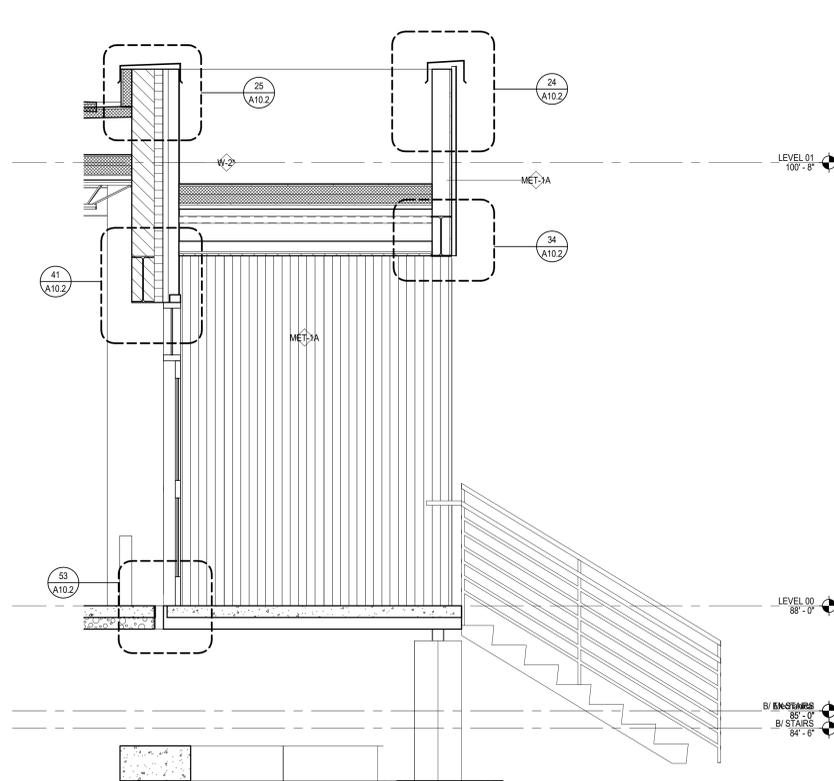
26 WALL SECTION
SCALE: 1/2" = 1'-0"



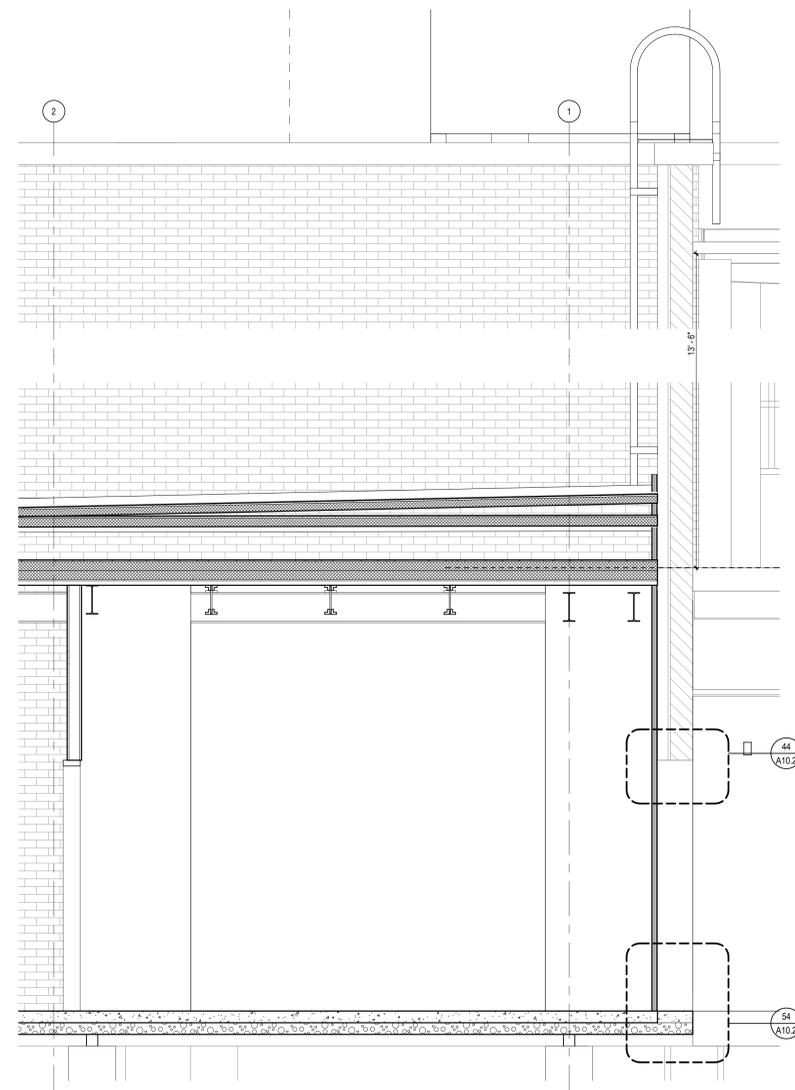
51 WALL SECTION
SCALE: 1/2" = 1'-0"



52 BUILDING SECTION E-W
SCALE: 1/2" = 1'-0"



53 WALL SECTION
SCALE: 1/2" = 1'-0"



54 WALL SECTION
SCALE: 1/2" = 1'-0"



ARCHITECTURAL REVIEW COMMISSION STAFF REPORT

TO: Architectural Review Commission **MEETING DATE:** October 8, 2020
Preliminary Review

FROM: Development Services Department **PREPARED BY:** Jennifer Tennant
Asst. Director of Development Services

ARC 20-29: Station Middle School

The Petitioner is seeking approval of a Certificate of Approval for the construction of an 18,500 sq. ft. addition at the front southwest corner of the existing Station Middle School building. The project will also include the removal of the existing detached mobile classrooms on the south end of the site and minor site modification to accommodate the addition and new paths. The property is zone P-L Public Lands District. The proposed project is simultaneously going through the planned development amendment process to incorporate the proposed improvements into the existing approvals for the site. All plans are subject to a final engineering and zoning review and approval prior to the issuance of a building permit.

PROPERTY OWNER: Community Unit School District #220
APPLICANT: Community Unit School District #220
ARCHITECT: DLR Group

STAFF RECOMMENDATIONS

The ARC should consider the following items and provide preliminary feedback to the Petitioner:

- **The Petitioner is proposing two design options for consideration. The ARC should provide feedback on option design options.**
- **All plans are subject to final building, engineering and zoning review prior to the issuance of a building permit.**

STANDARDS FOR APPEARANCE

The purpose of these standards is to establish a designed objective of those items, which affect the physical aspect of the Village of Barrington's environment. Pertinent to appearance is the design of the site, building and structures, planting, street hardware, and miscellaneous other objects which are observed by the public.

These criteria are not intended to restrict imagination, innovation, or variety, but rather to assist in focusing on design principles, which can result in creative solutions that will develop a satisfactory visual appearance within the city, preserve taxable values, and promote the public health, safety and welfare.

The following factors and characteristics which affect the appearance of a development will govern the Architectural Review Commission's evaluation of a design submission: (i) Conformance with the Appearance Code; (ii) Logic of design; (ii) Exterior space utilization; (iii) Architectural character; (iv) Attractiveness; (V) Material selection; (vi) Harmony and compatibility; (vii) Circulation – vehicular and

pedestrian; (viii) Maintenance aspects.

1. RELATIONSHIP OF BUILDINGS TO SITE

The primary purpose of this standard is to ensure that the proposed building is designed to accomplish a desirable transition with the streetscape and that the scale of the building is compatible with the site with regards to site planning, mass and scale.

The proposed addition is located at the front southwest corner of the existing middle school building. The proposed addition is 18,500 sq. ft. and will replace a detached block of mobile classrooms currently located at the south side of the site. Staff finds that the proposed addition is appropriately placed on the site to ensure compatibility with the existing site layout as well as with the mass and scale of the existing school building.

2. RELATIONSHIP OF BUILDINGS AND SITE TO ADJOINING AREA

The primary purpose of this standard is to address the relationship between the proposed site improvements and the surrounding properties as it relates to transitions, landscaping and screening.

The proposed addition will be constructed at the front southwest corner of the existing school building. The proposed addition is within the allowable setbacks for the P-L Public Lands District. Aside from the addition, the site will remain largely unchanged except for the addition of several new sidewalk paths connecting into existing paths. The proposed addition will be approx. 18' closer to the neighboring residential area but the majority of the addition will be located within the extent of the existing setbacks. There is an existing landscape buffer between the school property and the neighboring residential area to the south which will remain unchanged.

There is also a neighboring residential area across Eastern to the west. The proposed addition will be located roughly in the same location as the existing mobile classrooms. The construction of a permanent building addition over the existence of mobile classrooms will be an enhancement for the neighborhood. The proposed addition should minimal to no impact the surrounding properties.

3. LANDSCAPE AND SITE TREATMENT

The primary purpose of this standard is to address the more technical aspects of site and landscape design such as topography patterns, grading, plant material, lighting, etc., all of which are addressed by Staff and the Plan Commission through the planned development review process. However, the ARC can consider the overall landscape design and its compatibility with the building and site. The area in front the addition will receive a new detention basin and new trees. The rest of the site will remain unchanged.

4. BUILDING DESIGN

The primary purpose of this standard is to consider the overall building design, compatibility with the neighborhood, building materials, colors, screening of mechanicals, waste receptacles, etc.

The Petitioner is proposing two design options for consideration. Option #1 one reflects some of the red brick elements form the existing school and option #2 reflects more of the light brick elements. The ARC should discuss both design options and provide feedback to the Petitioner.

5. MISCELLANEOUS STRUCTURES AND STREET HARDWARE

The primary purpose of this standard is to consider the design and compatibility of miscellaneous structures and street lighting.

No other miscellaneous site improvements are proposed at this time.

6. MAINTENANCE – PLANNING AND DESIGN FACTORS

The primary purpose of this standard is to consider future maintenance of the proposed development.

Staff finds that the Petitioner has selected quality materials for the proposed addition and will continue to maintain the property in the same fashion as it is currently maintained.



Architecture Engineering Planning Interiors

333 West Wacker Drive, Suite 850
Chicago, IL 60606

September 14, 2020

Jennifer Tennant, AICP
Assistant Director of Development Services
Village of Barrington
200 S. Hough Street
Barrington, IL 60010

Re: Architectural Review Commission for Barrington Middle School Station Campus
215 S. Eastern Ave. Barrington, Illinois 60010

Dear Jennifer Tennant

The existing Station Middle School is slightly east of the geographic center of the district. The school is currently accommodating roughly 912 students with support staff and administration of 115 people, serving grades 6, 7 and 8. The existing school is approximately 118,576 square feet and oriented in a north-south direction, with the primary entry facing west. The 6th, 7th, and 8th grades are roughly split into three wings for each grade.

The proposed addition is around 18,500sf and will provide 6 replacement classrooms to offset the removal of the 6 mobile classrooms currently located partially inside the footprint of the proposed addition. 3 additional classrooms are planned for incremental growth in the district. The completed project plans to accommodate just over 1000 students. The general layout of the proposed 9 classrooms will provide not only collaborative learning for the 9 new classrooms but also the 9 existing classrooms immediately adjacent to common areas along the existing A-wing(4) and B-wing(5).

No additional enrollment growth is planned with the number of plumbing fixtures. Additional interior renovation scope is planned for the existing building including the replacement of plumbing piping and refreshing the existing restrooms

The majority of the existing exterior building walls consist of a brick and block exterior cavity wall with insulated metal panel infill. The new façade will be a 1 story brick and block façade with inset metal panel elements. There are 4" fiberglass sandwich panels where shown. Skylights over the perimeter tie-in condition with the adjacent two existing classroom wings will be 4" insulated Kalwall fiberglass sandwich panels. There may be additional Kalwall panels at the entry exits with storefront glazing and entries at grade. Planned punched openings are clear anodized aluminum storefront system with material, operation, and profile matching the other glazing systems. Roofing systems will consist of a fully-adhered white TPO membrane roof on a cover board with 6" of polyisocyanurate insulation over a roof deck sheathing on a metal roof deck. Additional tapered insulation occurs at crickets or where needed to provide slopes to drains. Perimeter wall coping is prefinished break metal. It is anticipated that roof screen systems surrounding some of the roof-mounted mechanical equipment will be required. If required, pre-finished, extruded aluminum unit-mounted screens will be provided; system is similar to C/S.

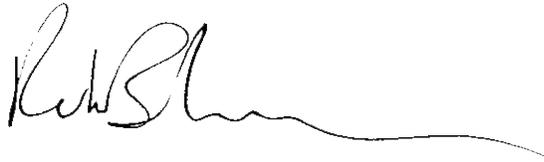
Please see provided drawings and renderings for additional information. Samples of building materials are available upon request.

Assistant Director of Development Services

September 14, 2020

Page 2

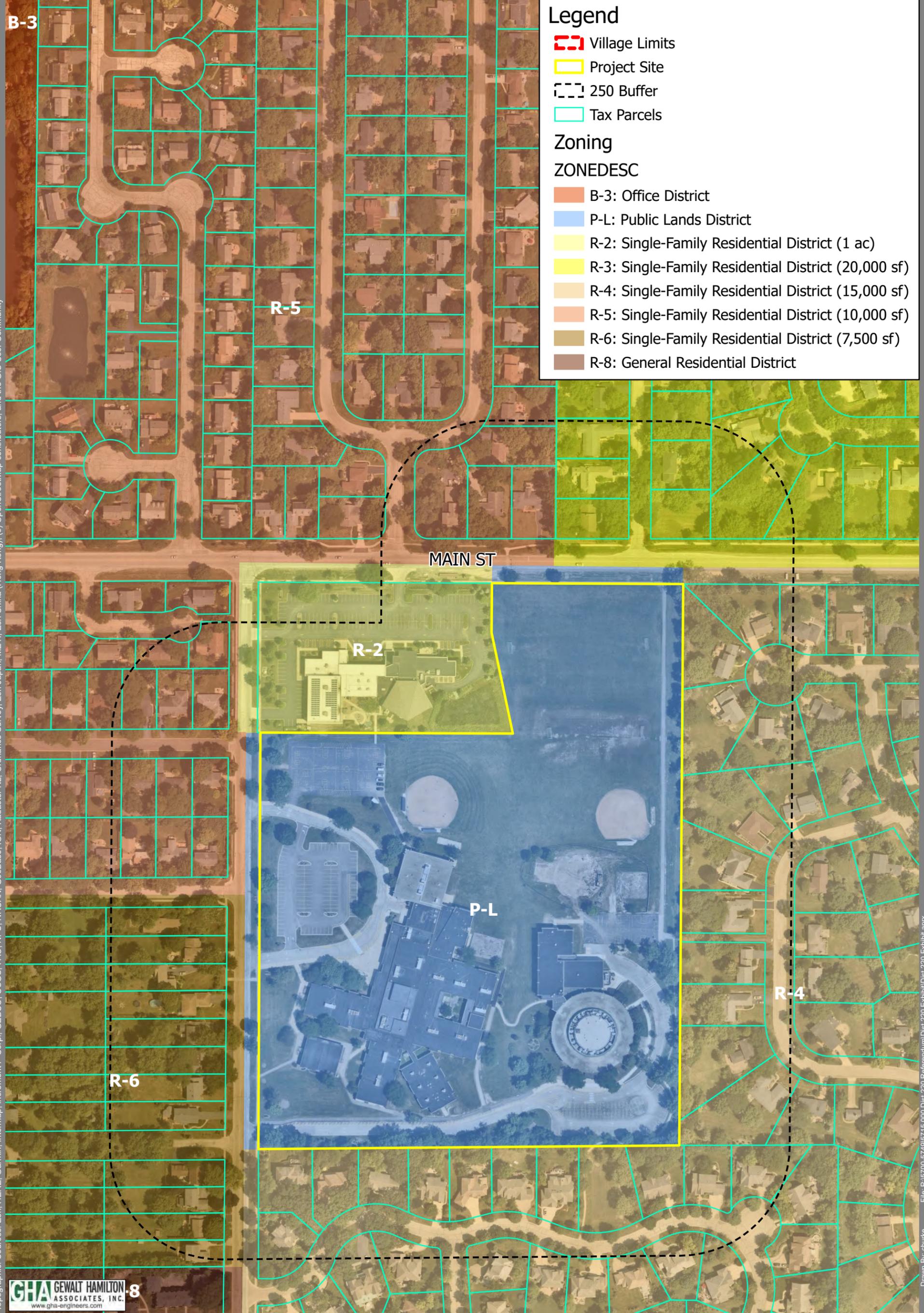
Sincerely,
DLR Group

A handwritten signature in black ink, appearing to read 'Rebecca Buchmeier', with a long horizontal flourish extending to the right.

Rebecca Buchmeier, AIA
Project Manager



Topographic: Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, Geobase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community



Legend

- Village Limits
- Project Site
- 250 Buffer
- Tax Parcels

Zoning

ZONEDESC

- B-3: Office District
- P-L: Public Lands District
- R-2: Single-Family Residential District (1 ac)
- R-3: Single-Family Residential District (20,000 sf)
- R-4: Single-Family Residential District (15,000 sf)
- R-5: Single-Family Residential District (10,000 sf)
- R-6: Single-Family Residential District (7,500 sf)
- R-8: General Residential District



1 inch = 200 Feet

Location Map: Station School

Barrington School District 220, Barrington, IL



Photo #1

Photo #2

Photo #4

Photo #3

Copyright nearmap 2015

GHA GEWALT HAMILTON
ASSOCIATES, INC.
www.gha-engineers.com



1 in = 110 ft

Barrington Middle School - Station Campus

Gewalt Hamilton Associates, Inc.



Photo #1: *Looking West Towards Eastern Avenue*



Photo #2: *Looking South Towards South Property Line*



Photo #3: Looking North Towards Existing Mobile Classrooms



Photo #4: Looking East Towards Existing Mobile Classrooms

BN_360722-20135-00 Barrington Middle School - Prairie Campus22-20139-00_BRCN-MS-Prarie_AR_2020.rvt
7/21/2020 11:05:31 AM

R-5

R-5

R-6

R-5

R-2

P-L

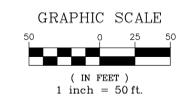
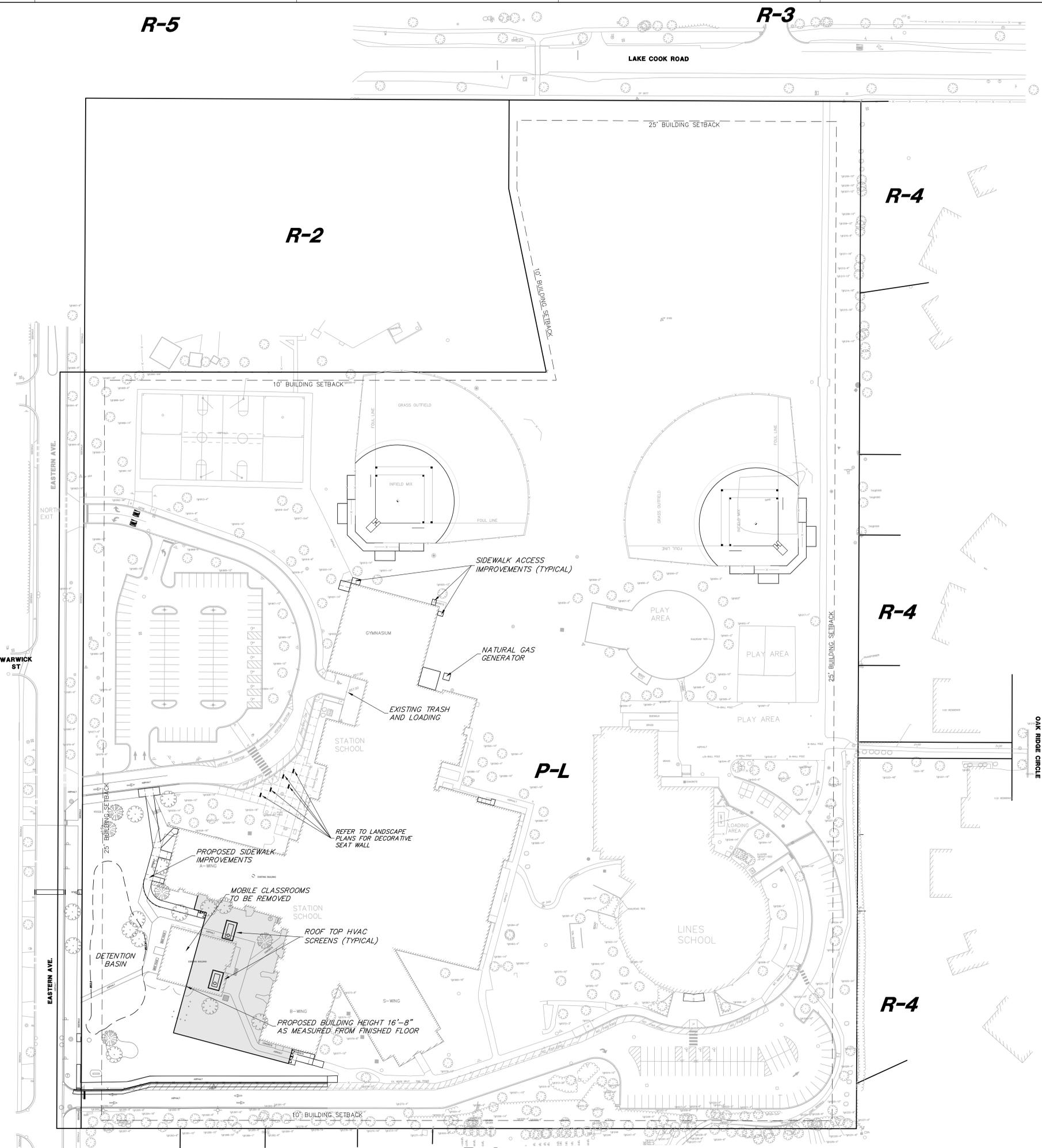
R-3

R-4

R-4

R-4

R-4



LEGAL DESCRIPTION
OF

THE WEST 982.6 FEET OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER SECTION 6, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN;

EXCEPT THAT PART DEDICATED OR RESERVED FOR PUBLIC ROADWAY PURPOSES, DESCRIBED AS FOLLOWS; THE WEST 30 FEET AND THE NORTH 50 FEET OF WEST 982.60 FEET OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 6;

AND ALSO EXCEPT THAT PART (KNOWN AS THE "CHURCH PROPERTY") DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID SECTION 6 AND RUNNING THENCE EAST ALONG THE NORTH LINE OF SECTION 6, 550.00 FEET; THENCE SOUTH PARALLEL WITH THE WEST LINE OF SAID SECTION 6, 160.00 FEET; THENCE ON AN 11 DEGREES 52 MINUTES 19 SECONDS ANGLE TO THE LEFT OF THE LAST DESCRIBED COURSE, 232.50 FEET; THENCE ON A 101 DEGREES 37 MINUTES 06 SECONDS MEASURED (101 DEGREES 38 MINUTES 04 SECONDS DEED) SECOND ANGLE TO THE RIGHT OF THE LAND DESCRIBED COURSE, 597.84 FEET MEASURED (597.89 FEET DEED) TO A POINT ON THE WEST LINE OF SAID SECTION 6 WHICH POINT IS 390.00 FEET SOUTH OF THE NORTH-WEST CORNER OF SAID SECTION 6; THENCE NORTH ALONG THE WEST LINE OF SAID SECTION 6 TO THE PLACE BEGINNING, EXCEPT THE NORTH 50 FEET THEREOF, ALL LOCATED IN SECTION 6, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, COUNTY OF COOK.

STATION MIDDLE SCHOOL & ARNETT LINES ELEMENTARY SCHOOL
PARKING COUNTS

PRE-2003			
SCHOOL	ADA	REGULAR	TOTAL
BARRINGTON MIDDLE SCHOOL - STATION	4	100	104
ARNETT LINES ELEMENTARY SCHOOL	3	68	71
	7	168	175

2004			
SCHOOL	ADA	REGULAR	TOTAL
BARRINGTON MIDDLE SCHOOL - STATION	5	101	106
ARNETT LINES ELEMENTARY SCHOOL	4	88	92
	9	189	198

2019			
SCHOOL	ADA	REGULAR	TOTAL
BARRINGTON MIDDLE SCHOOL - STATION	6	99	105
ARNETT LINES ELEMENTARY SCHOOL	3	80	83
	9	179	188

NO PLANNED PARKING LOT CHANGES

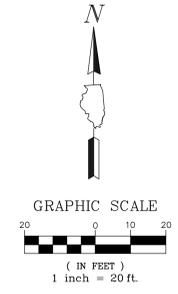
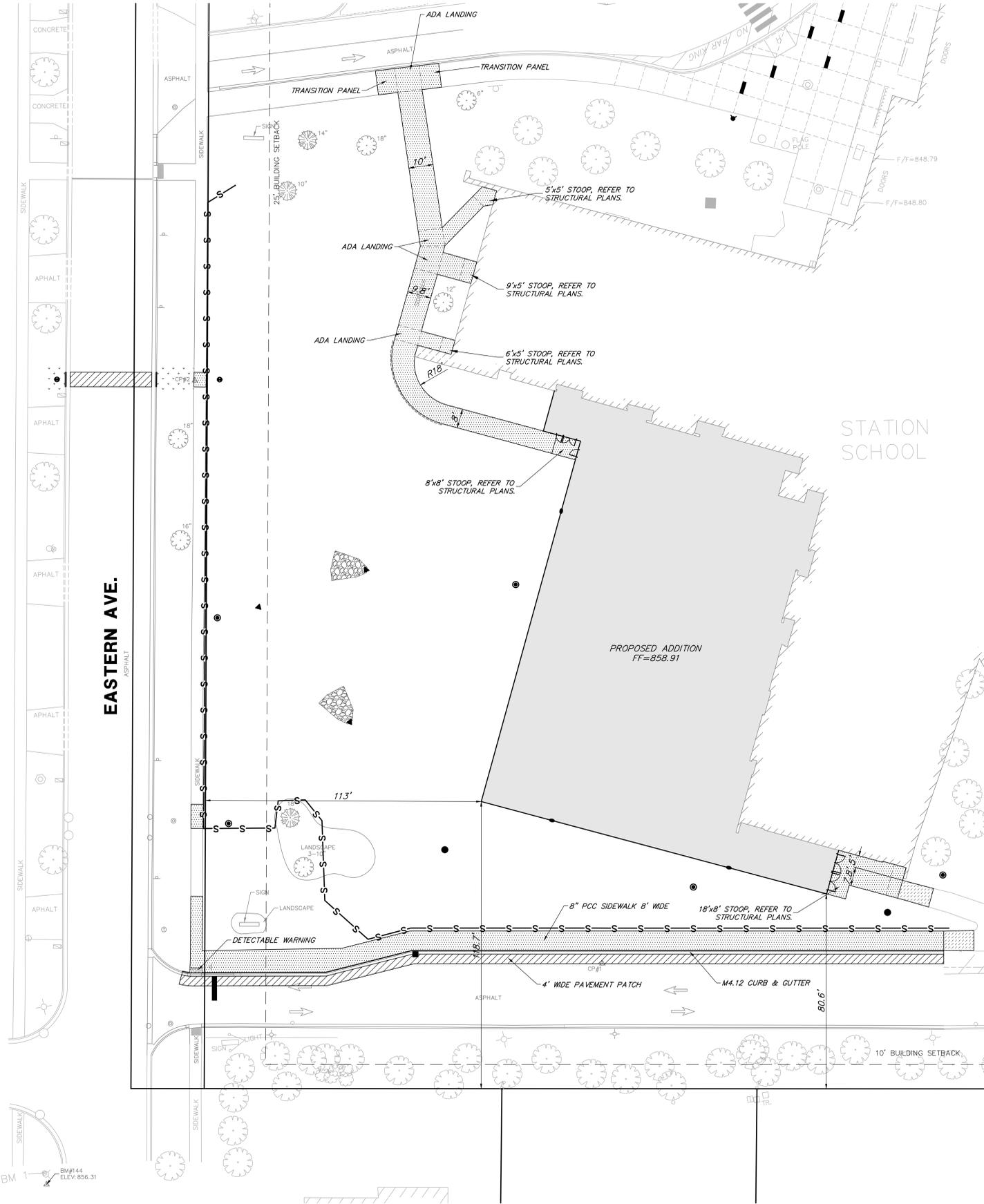


BARRINGTON MIDDLE SCHOOL - STATION
ADDITION / RENOVATION
215 EASTERN AVENUE, BARRINGTON, IL 60010

ISSUE FOR ARCHITECTURAL REVIEW COMMISSION
09/14/2020
REVISIONS

22-20139-00
OVERALL PROPERTY PLAN

C2.0

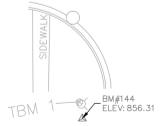


PROPOSED LEGEND

	PROPOSED BUILDING ADDITION
	PCC SIDEWALK
	HMA PATHWAY
	PAVEMENT PATCH (VILLAGE HEAVY DUTY PAVEMENT)
	PCC PAVEMENT
	SOD RESTORATION
	B6.18 CURB & GUTTER (REGULAR)
	PERIMETER EROSION BARRIER

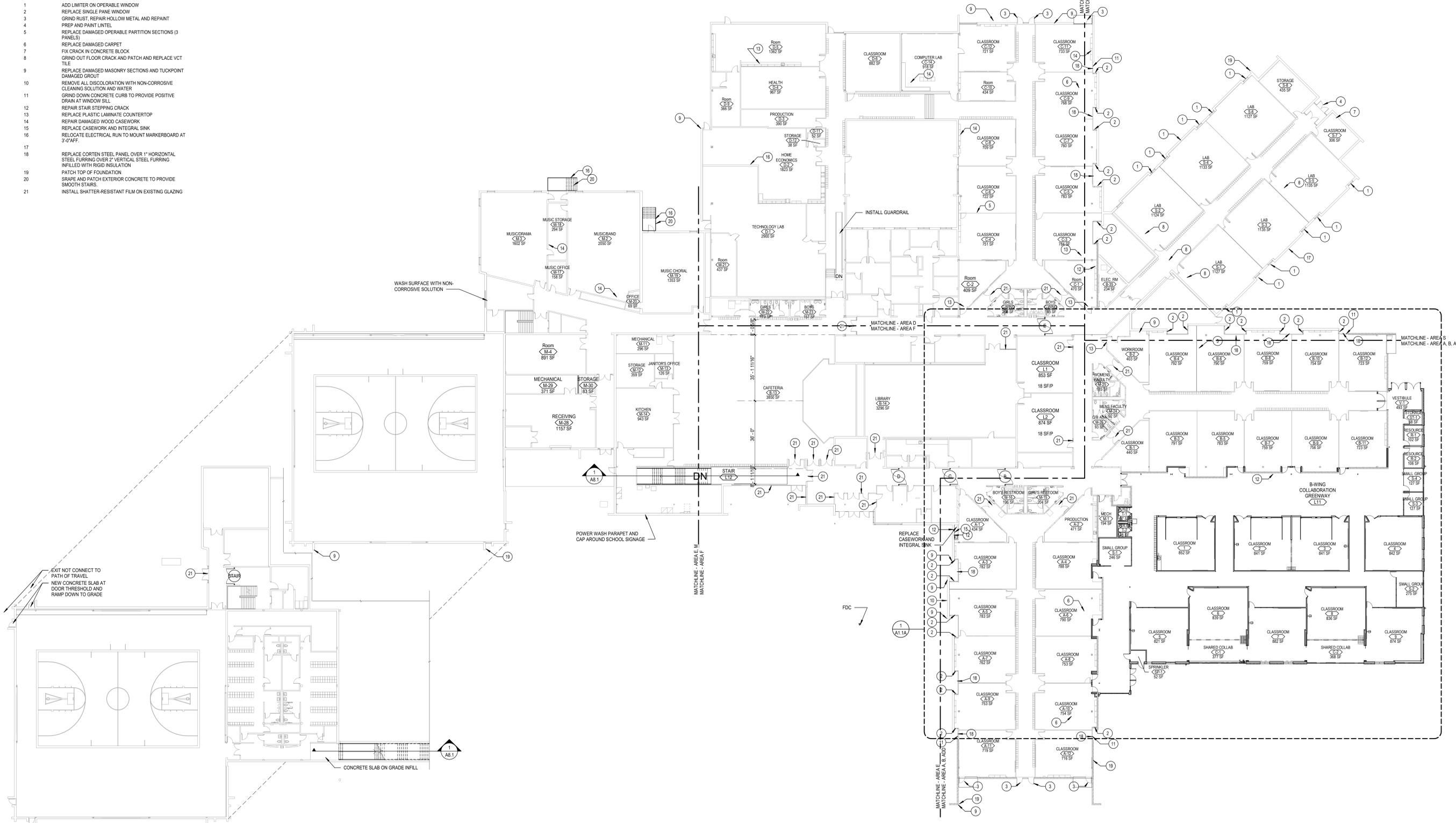
GEOMETRIC AND PAVING PLAN

- All pavement dimensions are to edge of pavement, unless otherwise noted. E=edge of pavement, B=back of curb, F=face of curb. Radii dimensions are to back of curb.
- Install all curb and sidewalk as shown. Dowel new sidewalk and curb to existing and proposed curbs per general notes. When constructing a carriage walk, the proposed sidewalk contraction and expansion joints shall align with existing curb joints.
- Provide 1.90% cross slope and 4.5% maximum longitudinal slope on all sidewalks and pedestrian path ways unless otherwise indicated. Illinois accessibility code requires a maximum constructed cross slope of 2.00% and longitudinal slope of 5.00%.
- Install bituminous pavement as shown. Refer to detail sheet for specific pavement sections and general note sheet for construction, testing and compaction requirements. Note pavement patch on Eastern Avenue shall be Village Heavy Duty Pavement, refer to details for specifications.
- Install generator/gas pad as shown. Pad shall be set 6" above finished grade. Refer to MEP plans for final pad size and design requirements.
- Contractor shall install temporary erosion control seed and blanket as necessary to meet soil erosion and sediment control requirements. Refer to notes and details throughout the plan set for specific material requirements.
- For final restoration, the contractor shall be responsible for restoring all disturbed turf areas and proposed turf areas as follows:
 - Refer to Landscape plans for plant and tree material and installation requirements.
 - Refer to Landscape plans for topsoil, seed and sod material and restoration requirements.
 - Prior to placement of topsoil restoration area subgrade material shall be rototilled and re-compacted to a maximum of 80% standard proctor to a depth of 6".
 - Spread a minimum of 6" of existing site salvaged screened topsoil or new pulverized topsoil on all disturbed areas. Compact to 80% standard proctor.
 - Topsoil must be free of litter, brush, rocks and earth clods of greater than 1 inch in any dimension. Contain between 1%-10% organic matter, 12%-50% clay, and less than 55% sand content. pH shall be between 6.0 and 8.0.
 - Seed restoration areas as follows:
 - IDOT Class 1 seed. (Lawn mixture)
 - IDOT Class 4 seed. (Native Grass)
 - Fertilizer shall be applied following IDOT requirements.
 - Erosion control blanket shall be North American Green S75 or approved equal installed following manufacturer guidelines.
 - Sod restoration areas as follows:
 - Sod shall be 24" wide x 54" long or 2.5' by 30' long thick cut (1-1/2") of well rooted growth material.
 - Seed mixture shall closely match IDOT Class 1.
 - Sod shall be rolled after installation.
 - Contractor shall be responsible for watering the restored area per IDOT specifications for a duration of 30 days prior to the Owner's final review and acceptance. If restoration has not shown a "catch" or uniform stand, the contractor shall repeat reseeding or resodding until a uniform stand is achieved.
- Once restoration has been completed, the contractor shall remove erosion control devices. Silt fence trenches shall be backfilled and restored in kind. Storm structures shall be cleaned of debris.



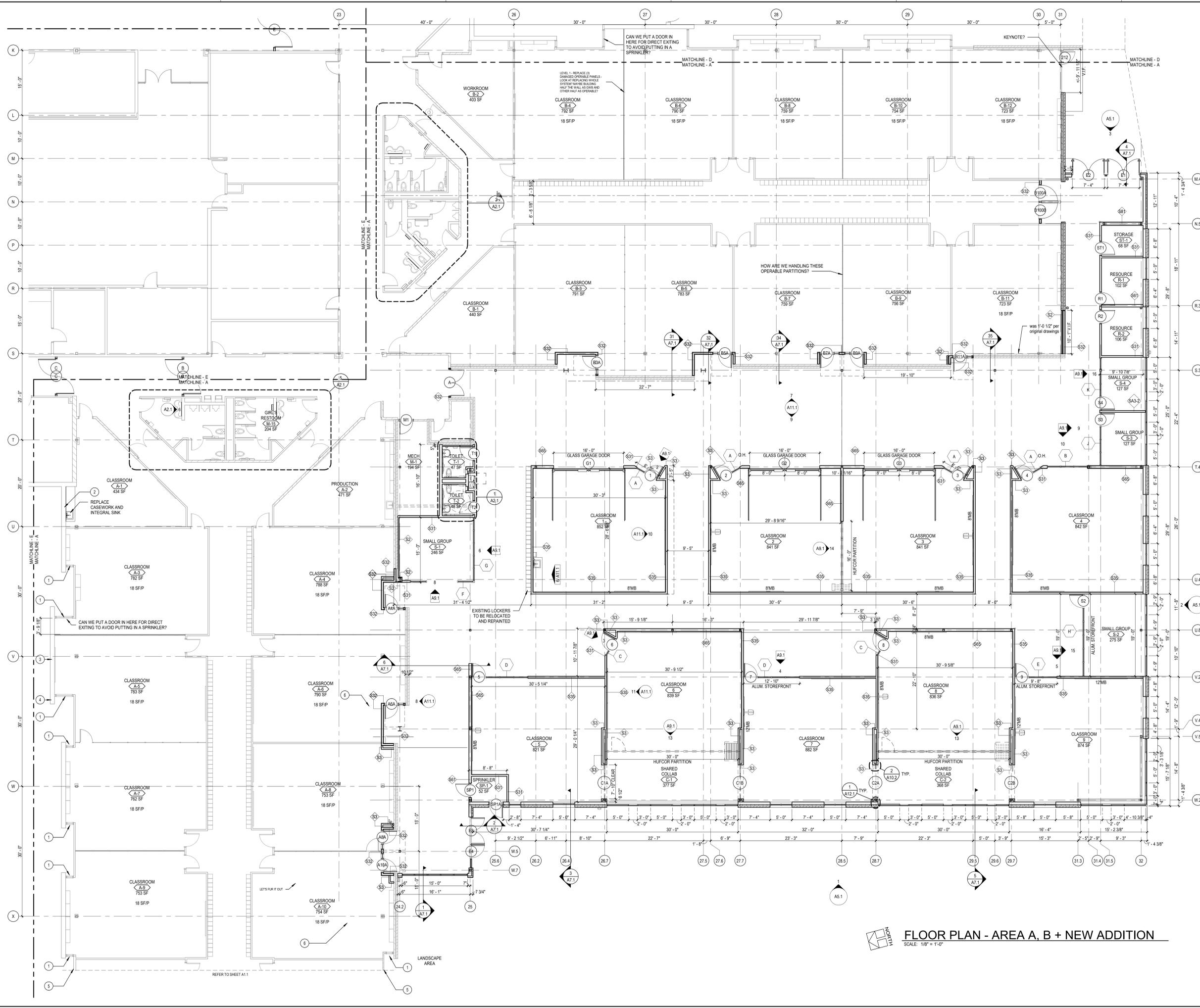
FLOOR PLAN KEYNOTES

- 1 ADD LIMITER ON OPERABLE WINDOW
- 2 REPLACE SINGLE PANE WINDOW
- 3 GRIND RUST, REPAIR HOLLOW METAL AND REPAINT
- 4 PREP AND PAINT LINTEL
- 5 REPLACE DAMAGED OPERABLE PARTITION SECTIONS (3 PANELS)
- 6 REPLACE DAMAGED CARPET
- 7 FIX CRACK IN CONCRETE BLOCK
- 8 GRIND OUT FLOOR CRACK AND PATCH AND REPLACE VCT TILE
- 9 REPLACE DAMAGED MASONRY SECTIONS AND TUCKPOINT DAMAGED GROUT
- 10 REMOVE ALL DISCOLORATION WITH NON-CORROSIVE CLEANING SOLUTION AND WATER
- 11 GRIND DOWN CONCRETE CURBS TO PROVIDE POSITIVE DRAIN AT WINDOW SILL
- 12 REPAIR STAIR STEPPING CRACK
- 13 REPLACE PLASTIC LAMINATE COUNTERTOP
- 14 REPAIR DAMAGED WOOD CASEWORK
- 15 REPLACE CASEWORK AND INTEGRAL SINK
- 16 RELOCATE ELECTRICAL RUN TO MOUNT MARKERBOARD AT 3'-0" AFF.
- 17 REPLACE CORTEN STEEL PANEL OVER 1" HORIZONTAL STEEL FLOORING OVER 2" VERTICAL STEEL FLOORING INFILLED WITH RIGID INSULATION
- 19 PATCH TOP OF FOUNDATION
- 20 STRIKE AND PATCH EXTERIOR CONCRETE TO PROVIDE SMOOTH STAIRS.
- 21 INSTALL SHATTER-RESISTANT FILM ON EXISTING GLAZING

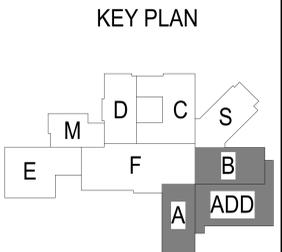


LEVEL 0 - OVERALL SCOPE PLAN
SCALE: 1" = 20'-0"

LEVEL 1 - OVERALL SCOPE PLAN
SCALE: 1" = 20'-0"



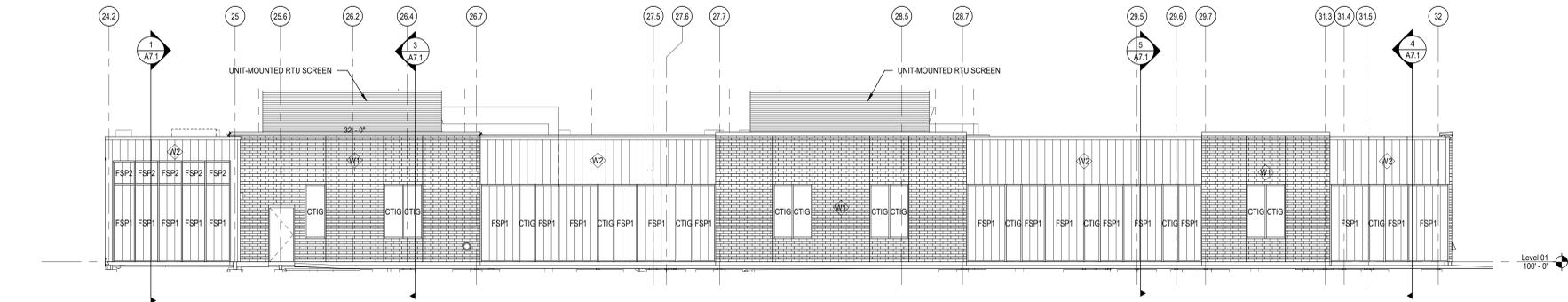
- FLOOR PLAN KEYNOTES**
- 1 REPLACE SINGLE PANE WINDOW
 - 2 REPAIR STAIR STEPPING CRACK
 - 3 REMOVE ALL DISCOLORATION WITH NON-CORROSIVE CLEANING SOLUTION AND WATER
 - 4 REPLACE DAMAGED MASONRY SECTIONS AND TUCKPOINT DAMAGED GROUT
 - 5 GRIND DOWN CONCRETE CURB TO PROVIDE POSITIVE DRAIN AT WINDOW SILL
 - 6 REPLACE DAMAGED CARPET



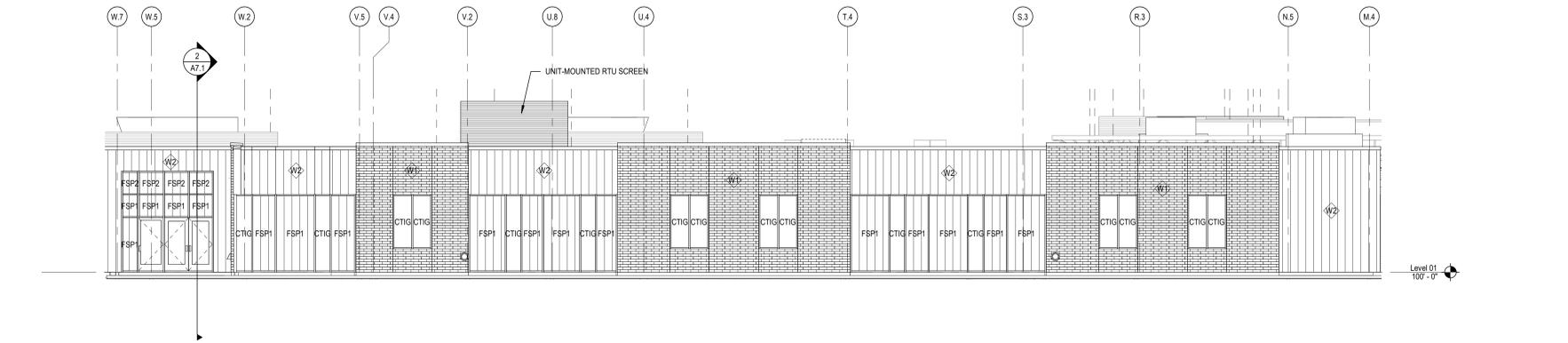
FLOOR PLAN - AREA A, B + NEW ADDITION
 SCALE: 1/8" = 1'-0"

GLAZING LEGEND

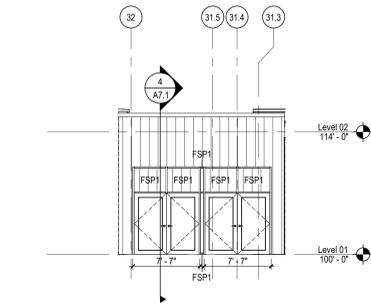
- CTIG CLEAR TEMPERED INSULATED GLAZING (GL-1)
- FSP1 FIBERGLASS SANDWICH PANEL - TRANSLUCENT (GL-5)
- FSP2 FIBERGLASS SANDWICH PANEL - OPAQUE (GL-X)



1 NEW ADDITION - WEST ELEVATION
AS.1 SCALE: 1/8" = 1'-0"



2 NEW ADDITION - SOUTH ELEVATION
AS.1 SCALE: 1/8" = 1'-0"

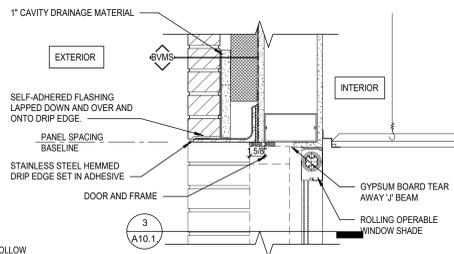


3 NEW ADDITION - EAST ELEVATION
AS.1 SCALE: 1/8" = 1'-0"

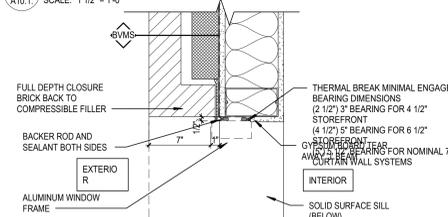
ELEVATION KEYNOTES



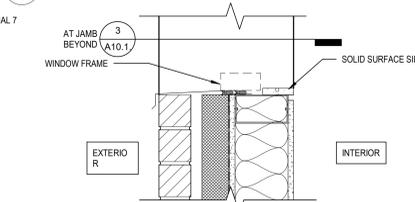
9 COPING DETAIL - BVMS
A10.1 SCALE: 1 1/2" = 1'-0"



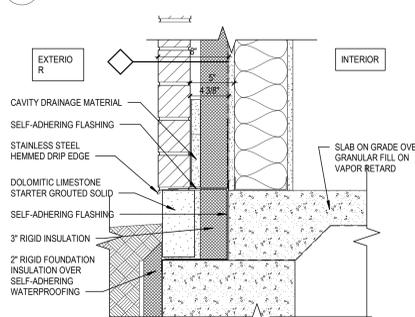
6 WINDOW HEAD DETAIL - BVMS
A10.1 SCALE: 1 1/2" = 1'-0"



3 WINDOW JAMB DETAIL - BVMS
A10.1 SCALE: 1 1/2" = 1'-0"



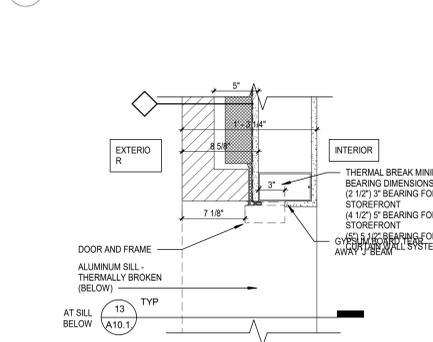
5 WINDOW SILL DETAIL - BVMS
A10.1 SCALE: 1 1/2" = 1'-0"



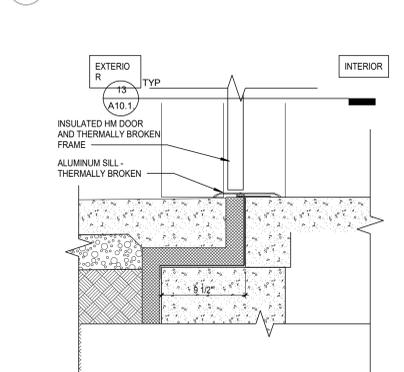
12 WALL BASE DETAIL - BVMS
A10.1 SCALE: 1 1/2" = 1'-0"



13 DOOR JAMB DETAIL @ HM - BVMS
A10.1 SCALE: 1 1/2" = 1'-0"

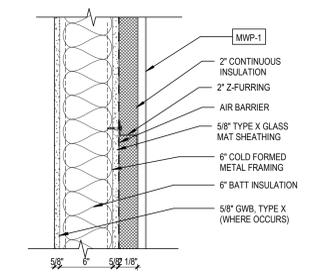


2 JAMB DETAIL - BVMS
A10.1 SCALE: 1 1/2" = 1'-0"

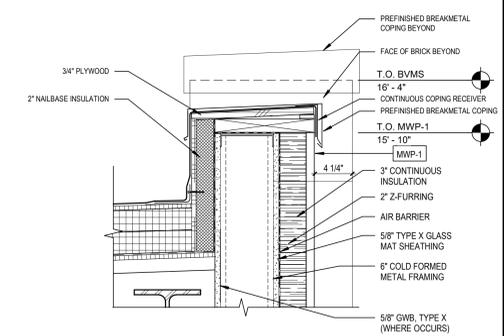


1 THRESHOLD DETAIL - BVMS
A10.1 SCALE: 1 1/2" = 1'-0"

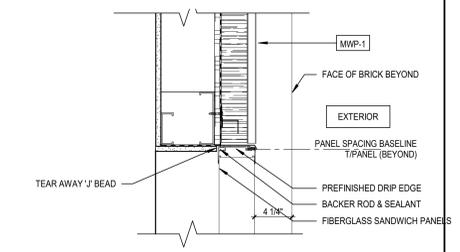




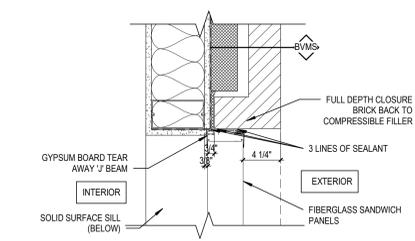
ACM
EXTERIOR WALL ASSEMBLY
PLAN DETAIL - 1" MWPBW
SCALE: 1 1/2" = 1'-0"



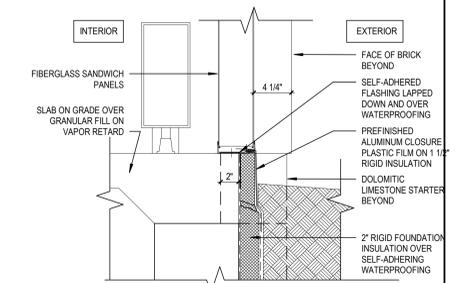
COPING DETAIL - MWPBW
SCALE: 1 1/2" = 1'-0"



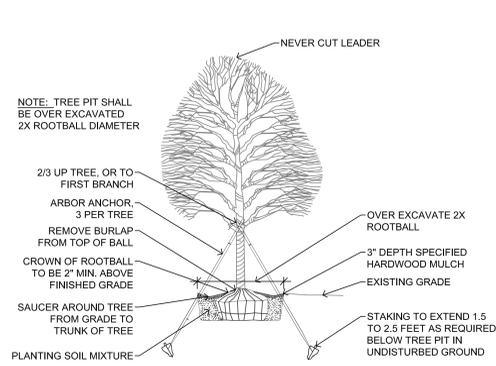
WIN HEAD DETAIL - MWPBW
SCALE: 1 1/2" = 1'-0"



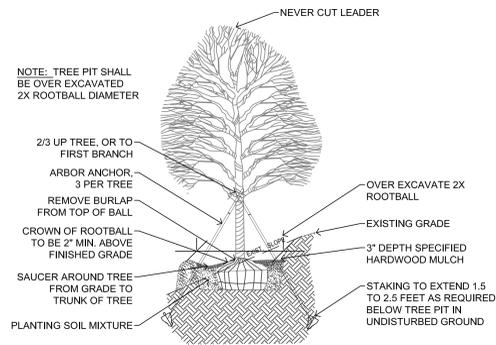
FGSP JAMB DETAIL - BVMS
SCALE: 1 1/2" = 1'-0"



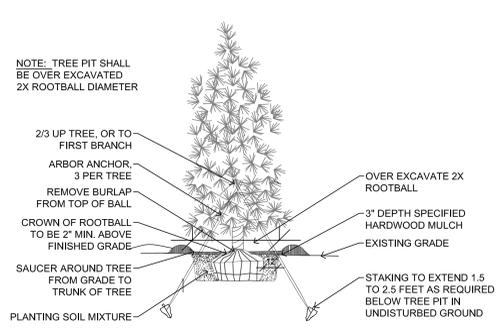
FGSP SILL DETAIL - AT GRADE
SCALE: 1 1/2" = 1'-0"



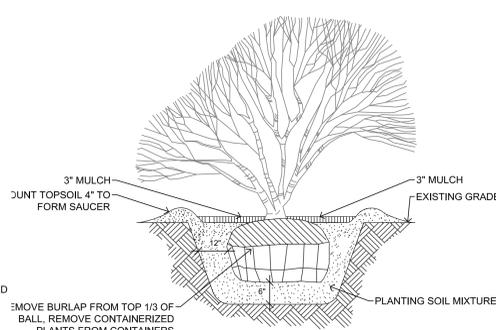
11
14.0
DECIDUOUS TREE PLANTING DETAIL
NO SCALE SECTION



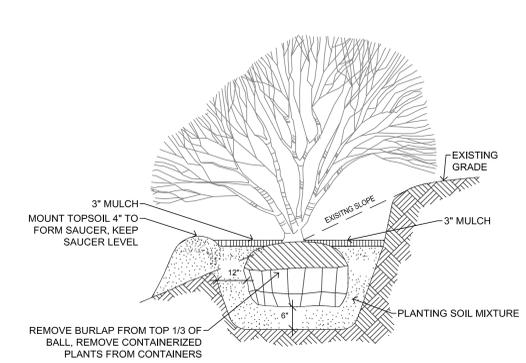
12
14.0
DECIDUOUS TREE PLANTING ON SLOPE
SCALE: NO SCALE SECTION



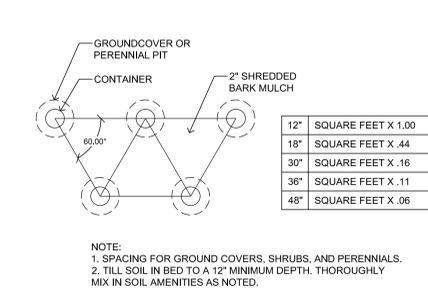
13
14.0
EVERGREEN TREE PLANTING DETAIL
SCALE: NO SCALE SECTION



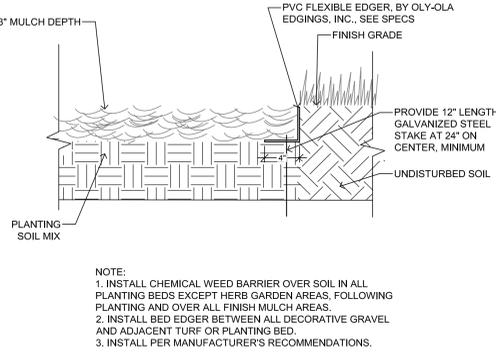
14
14.0
SHRUB PLANTING DETAIL
SCALE: NO SCALE SECTION



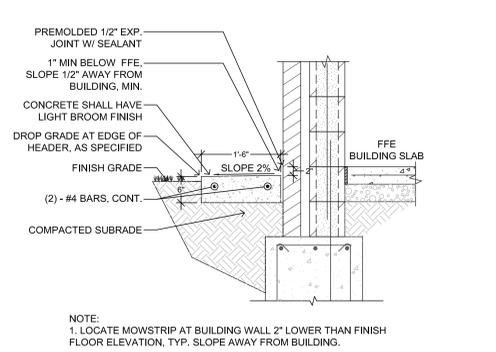
15
14.0
SHRUB PLANTING ON SLOPE DETAIL
NO SCALE SECTION



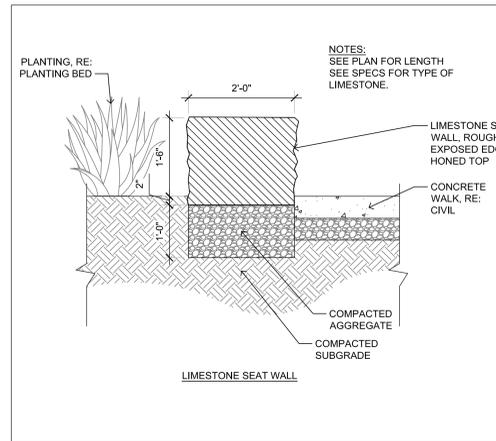
21
14.0
PERENNIAL LAYOUT PLAN
SCALE: NO SCALE PLAN



22
14.0
BED EDGER AT PLANTING BED
SCALE: NO SCALE SECTION



23
14.0
CONCRETE MOWSTRIP AT BUILDING
SCALE: NO SCALE SECTION



24
14.0
LIMESTONE SEAT & BOLLARD
SCALE: NO SCALE SECTION

25
14.0
DETAIL NAME
SCALE: NO SCALE SECTION