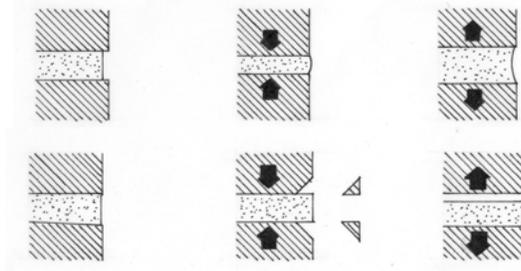


New Mortar Must Be Soft to Allow for Expansion and Contraction of Existing Bricks



5. CHIMNEYS

Chimneys often feature decorative brickwork or designs which contribute to a building's architectural character. For some Tudor Revival and Craftsman dwellings, chimneys on the front of the house are important to its style. Chimneys should be maintained in accordance with the brick and mortar guidelines.

- A. which are readily visible may be retained and restored or replicated if original. Chimneys on rear facades or facades not readily visible from the street may be removed if in deteriorated condition.
- B. should be repointed and cleaned according to masonry guidelines to match original materials, colors, shape, and brick pattern. If chimneys have been extensively repointed resulting in mismatched colors and textures, painting the chimney dark red or brown is appropriate.
- C. should match their original design if they have to be rebuilt.
- D. should have clay, slate, or stone caps.
- E. should be made of masonry materials and should not be covered with siding, stucco or other veneers.

6. DECKS

Outdoor wood decks are popular additions and can usually work well with older buildings. As in the case of adding rooms, wood decks should only be built at the rear of buildings. Decks on the sides of buildings are also appropriate if they are screened from the street by fencing or landscaping.

- A. should be located at the rear of buildings. If built on the side of a building the deck should be screened from street view with fencing and/or landscaping.
- B. should be stained or painted to match or blend with the colors of the building if readily visible from the street.
- C. should be simple rather than ornate in design. If visible from the street, wood decks are recommended to have square wood balusters set no more than three inches apart. Balusters should be no more than 2" in width and depth.
- D. Of wood construction are recommended. Synthetic based decking material may also be used if the deck is not visible from the street.

DECKS: Illustrations

Appropriate rear deck installation



7. DEMOLITION

Demolition is forever and once a building is gone it takes away another piece of the Village's character. Demolition of an historic building which has most of its original design and features should only be an action of last resort. Demolition of existing structures within the Historic District must be approved by the ARC. Demolition through neglect is not permitted. Owners who do not properly maintain structures are in violation of Village of Barrington Ordinances.

- A. of any original feature or part of a historic building should be avoided.
- B. of a Contributing Structure in the Historic District should not occur, unless the demolition standards established in the Zoning Ordinance are met.
- C. of a Non-Contributing Structure in the Historic District is permitted.
- D. of pre-1939 accessory buildings (garages, etc.) may be appropriate if substantially deteriorated (requiring 50% or more replacement of exterior siding, roof rafters, surface materials, and structural members).
- E. may be appropriate if a building does not contribute to the historical or architectural character and importance of the district and its removal will improve the appearance of the neighborhood.
- F. when approved should be accomplished in a manner that will preserve existing trees and major vegetation.

8. DOORS

Doors and door surrounds are important features in defining the style and character of a building. Screen doors for entrances are appropriate if the structural framework is kept to a minimum to retain the visibility of the historic door behind the screen.

- A. and/or their surrounds, sidelights, transoms, and detailing should be replicated in design, dimension, profile and texture if replaced. All divisions, lites, windows, etc. must be true divided lite (TDL) or simulate divided lite (SDL).