

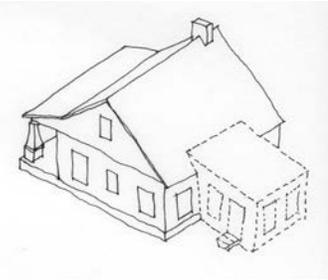
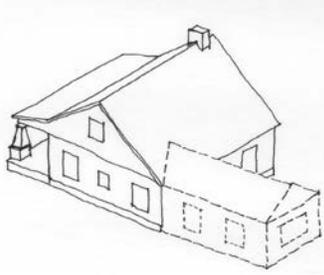
1. ADDITIONS (New Rooms)

Many of Barrington's dwellings are over one hundred years old and display additions added in later years. In planning new additions the best approach is to site additions where they will not be readily visible from the street, or where they will have the least effect on the building's overall form and plan. Additions should be in scale with the original house and not result in the loss of overall architectural character. The raising of rooflines for additional living space will not be appropriate for most dwellings. The rear of dwellings is the best location for the addition of rooms, wings, porches or decks.

- A. should be located at the rear of buildings, not on the front or visible areas of the sides of buildings without an appropriate setback from the front face of the building based on the architectural style of the structure. The raising of rooflines for additional space is not appropriate for dwellings unless at locations which are not readily visible.
- B. should be secondary and subordinate to the original building in scale, design, and placement. Additions should complement, rather than detract, from a dwelling's overall architectural character.
- C. should be of a compatible design in keeping with the original building's design, roof shape, roof pitch, materials, color, fenestration, and cornice heights, etc.
- D. should not imitate an historic style or architectural period earlier than the original building. For example, a Victorian-era Queen Anne style rear porch addition would not be appropriate for a 1920's Craftsman house.
- E. should appear distinguishable from the historic building, not an exact copy of it. Additions should be compatible with the original building. This is typically accomplished by off-setting the addition from the historic building.
- F. should be built in a manner that does not damage or destroy the main architectural features of the building.
- G. should keep the majority of exterior walls of the original building alone and use existing door and window openings for connecting the addition to the building whenever possible.
- H. should not be made through enclosing an existing front porch or prominent side porch with glass or other materials.
- I. should not be made through the addition of a new story at the roof of a house.
- J. should be of materials compatible with the historic character and architectural style of the house. Smooth, clear wood siding and trim is the recommended and preferred material. Other materials that are designed to mimic wood siding and trim with like design, dimension, profile and texture will be considered as they become available. The use of vinyl and/or aluminum siding and trim material or other siding and trim material with faux wood grain or other characteristics that do not mimic wood are not permitted in the District.

ADDITIONS: Illustrations

Appropriate additions placed at rear of house



Front

Rear

An appropriate rear addition at 121 West Lake Street



Front

Rear

An appropriate rear addition at 410 South Grove Ave.



Front

Rear

An appropriate rear addition at 246 West Lake Street

2. ARCHITECTURAL DETAILS AND FEATURES

Architectural detailing is a major component in defining a building's character and style. Original architectural detailing may be replaced with wood or other materials that mimic original wood in design, dimension, profile and texture

Gingerbread, vergeboards, eaves, brackets, dentils, cornices, moldings, trimwork, shingles, columns, pilasters, balusters, or any decorative or character-defining features

- A. may be replaced with a material that mimics the original in design, dimension, profile and texture.
- B. should not be added unless original and authentic to the building and accurately based on physical, pictorial, or historical evidence (not guesswork) in design, dimension, profile and texture.
- C. should not be covered with vinyl or aluminum or other artificial siding.

- D. wood is the recommended and preferred material for the replacement and installation of new architectural details. However, other materials may be considered for new or replacement architectural details if a material that mimics the original in design, dimension, profile and texture is available.

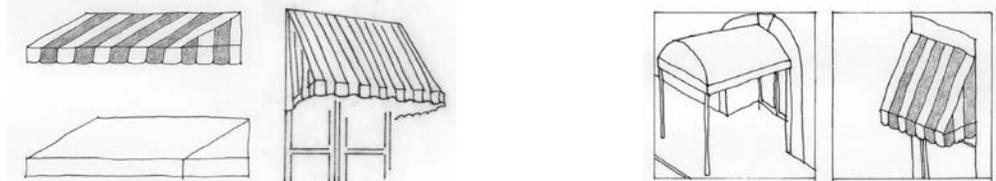
3. AWNINGS

Canvas awnings for windows and porches were common features of buildings in the early 20th century. With the widespread use of air conditioning after World War II, the use of awnings declined. In recent years the use of awnings has increased because they can be attractive and save energy costs. Canvas and similar material awnings are appropriate for many Barrington dwellings.

- A. may be added on buildings at traditional locations such as over windows and doors and attached to porches.
- B. should be of canvas. Awnings of vinyl-coated or acrylic materials are not permitted.
- C. should not cover or conceal significant architectural details.
- D. should be of colors to blend with the building.
- E. should be made to fit the opening. Rectangular window and door openings should have shed-style awnings, not bubble or curved awnings. Awnings over windows with rounded or oval shapes should have curved shed style awnings to match the opening.

AWNINGS: Illustrations

Appropriate Awning Styles



4. BRICKWORK, MASONRY, STONE AND MORTAR

Some of Barrington's buildings are of brick or brick veneer construction. Brick can last for hundreds of years if it is well maintained. The key to brick and mortar preservation is to keep out water and continue to use a soft mortar when repair is needed. Abrasive cleaning such as sandblasting erodes the skin of the brick and can cause water to get inside. The use of hard mortars like Portland cement can cause the brick to crack and break when it can't expand and contract with the hot and cold weather. Low pressure cleaning like using a garden hose and the use of soft mortar mixes are best for Barrington's brick buildings. Stone exteriors, foundations and other features are integral to a dwelling's character and should be preserved and maintained or repaired when necessary with like materials.

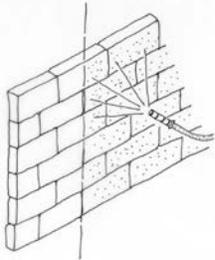
- A. should never be sandblasted or subjected to any kind of abrasive cleaning.
- B. should never be cleaned with high pressure water which exceeds 600 pounds per square inch.
- C. should be cleaned with detergent cleansers if needed. If brick walls have bad stains or if paint removal is desired, the use of chemical stain and paint removers is appropriate. If chemical

cleaners or paint removers are used on brick, always conduct a small test patch first on an inconspicuous part of the building to determine the effects of the chemicals.

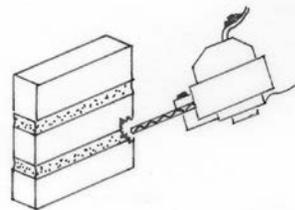
- D. should be cleaned only when necessary to remove bad stains or paint build up. If there are only a few small stains or a little dirt on the walls it may be best to leave it alone. Do not introduce water or chemicals into brick or stone walls if it can be avoided.
- E. should not be covered with silicone-based water sealants. Water sealants can have the effect of trapping water on the interior of the building and that can damage inside walls.
- F. which has never been painted should not be painted unless the brick/stone and mortar is extremely mismatched from earlier repairs or patching. Previously sandblasted brick or brick which is in poor condition may be painted to provide a sealing coat.
- G. should not be stuccoed.
- H. bricks and/or stones which require repair should be done carefully to match the original brickwork and mortar, using hand tools, not electric power saws, to remove mortar.
- I. bricks and/or stones which require repointing (fixing the mortar between the bricks and/or stones) should be repointed to match the original brick/stone and mortar regarding width, depth, color, raking profile, composition, and texture.
- J. bricks and/or stones which require repointing should never be repointed with Portland cement or other hard mortars but with soft mortars to match the original composition. If the original composition can't be determined, use a historic compound such as one part lime and two parts sand.
- K. features that are missing may be replaced with other brick or stones to match. Salvage companies may have molded or decorative bricks or stones to match those missing on a building.

BRICKWORK AND MORTAR: Illustrations

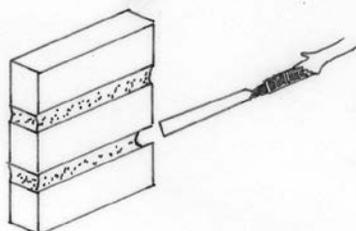
Abrasive Cleaning is Not Allowed



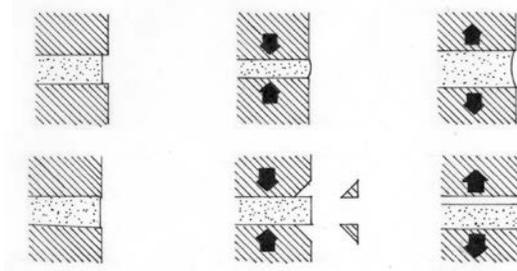
Mortar Should Not be Removed with Power Tools



Always Clean Joints with Hand Tools



New Mortar Must Be Soft to Allow for Expansion and Contraction of Existing Bricks



5. CHIMNEYS

Chimneys often feature decorative brickwork or designs which contribute to a building's architectural character. For some Tudor Revival and Craftsman dwellings, chimneys on the front of the house are important to its style. Chimneys should be maintained in accordance with the brick and mortar guidelines.

- A. which are readily visible may be retained and restored or replicated if original. Chimneys on rear facades or facades not readily visible from the street may be removed if in deteriorated condition.
- B. should be repointed and cleaned according to masonry guidelines to match original materials, colors, shape, and brick pattern. If chimneys have been extensively repointed resulting in mismatched colors and textures, painting the chimney dark red or brown is appropriate.
- C. should match their original design if they have to be rebuilt.
- D. should have clay, slate, or stone caps.
- E. should be made of masonry materials and should not be covered with siding, stucco or other veneers.

6. DECKS

Outdoor wood decks are popular additions and can usually work well with older buildings. As in the case of adding rooms, wood decks should only be built at the rear of buildings. Decks on the sides of buildings are also appropriate if they are screened from the street by fencing or landscaping.

- A. should be located at the rear of buildings. If built on the side of a building the deck should be screened from street view with fencing and/or landscaping.
- B. should be stained or painted to match or blend with the colors of the building if readily visible from the street.
- C. should be simple rather than ornate in design. If visible from the street, wood decks are recommended to have square wood balusters set no more than three inches apart. Balusters should be no more than 2" in width and depth.
- D. Of wood construction are recommended. Synthetic based decking material may also be used if the deck is not visible from the street.

DECKS: Illustrations

Appropriate rear deck installation



7. DEMOLITION

Demolition is forever and once a building is gone it takes away another piece of the Village's character. Demolition of an historic building which has most of its original design and features should only be an action of last resort. Demolition of existing structures within the Historic District must be approved by the ARC. Demolition through neglect is not permitted. Owners who do not properly maintain structures are in violation of Village of Barrington Ordinances.

- A. of any original feature or part of a historic building should be avoided.
- B. of a Contributing Structure in the Historic District should not occur, unless the demolition standards established in the Zoning Ordinance are met.
- C. of a Non-Contributing Structure in the Historic District is permitted.
- D. of pre-1939 accessory buildings (garages, etc.) may be appropriate if substantially deteriorated (requiring 50% or more replacement of exterior siding, roof rafters, surface materials, and structural members).
- E. may be appropriate if a building does not contribute to the historical or architectural character and importance of the district and its removal will improve the appearance of the neighborhood.
- F. when approved should be accomplished in a manner that will preserve existing trees and major vegetation.

8. DOORS

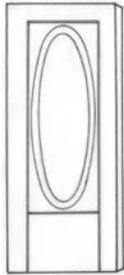
Doors and door surrounds are important features in defining the style and character of a building. Screen doors for entrances are appropriate if the structural framework is kept to a minimum to retain the visibility of the historic door behind the screen.

- A. and/or their surrounds, sidelights, transoms, and detailing should be replicated in design, dimension, profile and texture if replaced. All divisions, lites, windows, etc. must be true divided lite (TDL) or simulate divided lite (SDL).

- B. of historic designs which are missing should be replaced with an appropriate styled door. In replacing missing original doors, replacement doors should replicate the original in design, dimensions, profile and texture including glazing (glass area) and lights (pane configuration).
- C. all new doors should be of wood or material that mimics wood in design, dimension, profile and texture. Many fiberglass doors are now suitable substitutes for original wood designs.
- D. of paneled or flush wood or steel design should be avoided or used only for rear entrances or side entrances that are not visible from the street.
- E. which must be added to meet codes should be sited at the rear or side facades of buildings which are not readily visible.
- F. sidelights and transoms should be used only in styles where these features are appropriate, or original to the building. Styles which often used sidelights and transoms include the Colonial Revival and Craftsman styles.
- G. On primary facades may have screen or storm doors added that are of appropriate designs. Screen doors should be of a full-view or two-panel design and be appropriate to the style of the house. If storm doors are applied they should be full-view design and painted in colors to blend with the door surround.

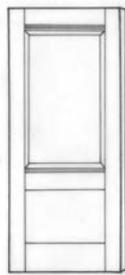
DOORS: Illustrations

Typical Queen Anne Door

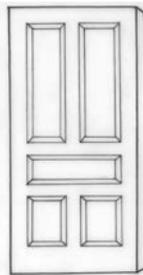


Folk Door

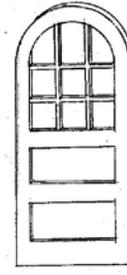
Typical Queen Anne Door



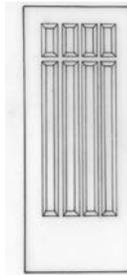
Folk/Colonial Revival Door



Tudor Revival Door

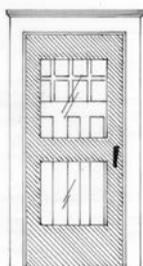


Craftsman Door

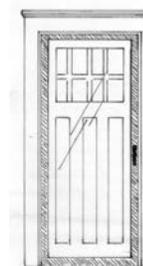


Storm Doors

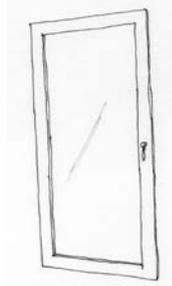
No



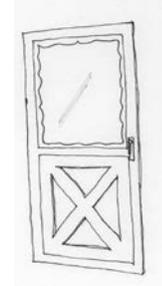
No



Yes



Yes



No

No

9. DRIVEWAYS, PARKING AREAS AND PAVING

Access to the buildings in the Barrington's historic residential area is generally via driveways from the street. During the early 20th century, many original stables and other outbuildings were replaced by automobile garages. Many garages from this time period remain intact.

- A. should be kept to one car width whenever possible. Ribbon driveways are permitted.
- B. that are new, should be located at the rear or recessed side of the house.
- C. in the front or side yards should meet the Village requirements for surface materials. Concrete is a preferred surface material in the Historic District rather than asphalt. Asphalt is discouraged but may be applied.
- D. should have their parking areas located in the rear yard and screened with hedges, shrubs, or fences where noticeable from the street.
- E. requiring new curb cuts to access driveways and parking lots should be kept to a minimum. The addition of curb cuts usually results in the removal of historic sidewalk materials, curbs, and retaining walls.
- F. for commercially-used houses, churches, apartment buildings, or schools should be located in rear yards if possible, but when necessary in a side yard, should be located no closer than the front wall of the structure.
- G. on vacant lots between buildings should align edge screening with front facades of adjacent buildings.
- H. on corner lots should have edge screening on both the primary and secondary street.

10. FANS

Although not common, ceiling fans were sometimes added to front and side porches to assist in air circulation. New ceiling fans are appropriate for dwellings in Barrington's historic neighborhoods.

- A. mounted on ceilings of porches are appropriate.
- B. exterior fans should be simple in design and be mounted flush with the ceiling. Care must be taken not to destroy historic porch ceiling material.

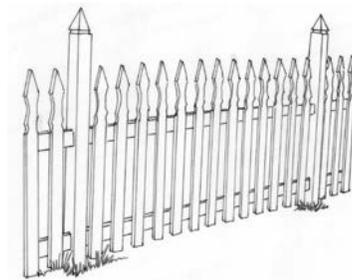
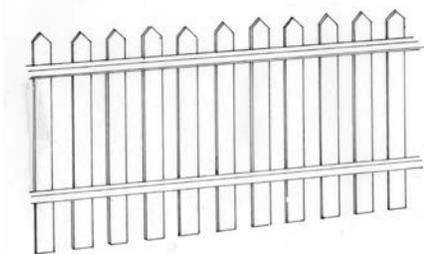
11. FENCES

Wood fences were widely used in Barrington to separate lots and outline yards. Cast iron, brick, stone and wire fences were also used. The construction of new fences based upon historic designs and materials is appropriate. Within the District fences are typically used at side or rear yards rather than front yards.

- A. of cast iron may be added to buildings constructed in the late 19th and early 20th century. Cast iron fences are not appropriate for Craftsman style dwellings or for other designs built after 1920.
- B. should be discouraged in front yards.
- C. of wood pickets are fine and should generally follow property lines, and be painted or stained light, pale white or beige tones. Wood fences should have pickets no wider than four inches and set no farther apart than three inches.
- D. of wood boards for privacy should be located in rear yards and generally be no taller than six feet (most pre-fabricated wood fence sections are 8' wide by 6' high). Privacy fences of this height should be setback a minimum of five (5) feet from the front face of the house. Privacy fences of flat boards in a single row are preferred to shadowbox (alternating boards) designs. Fences with flat tops, "dog ear" or Gothic (pointed tops) designs are all acceptable. "Stockade" designs are discouraged. Fences should be stained or painted to blend with the dwelling or building.
- E. of split or horizontal rails, and of railroad ties or timbers, whether freestanding or as retaining walls, are not appropriate for front yards.
- F. Appropriate fencing materials include: wood, wrought iron and wrought iron style aluminum fence that mimics appropriate wrought iron design, dimensions, profile and texture with powder coating, fully enclosed horizontal and vertical rails and no exposed screws or fasteners.

FENCES: Illustrations

Appropriate Picket Fences



12. FIRE ESCAPES

Multi-story buildings used for commercial and/or rental residential uses often require fire escapes to meet fire and safety codes. Fire escapes, whether incorporated within the walls of the building or attached to exterior walls, should be sited at the rear or sides of buildings which are not visible from the street. Fire escapes may only be added when required by building code or when no other means of upper floor access is feasible.

13. FOUNDATIONS

Many Barrington dwellings have foundations of stone or brick. Repointing and repair of masonry foundations should follow masonry guidelines. A number of original foundations in Barrington were replaced with rock-faced concrete block designs in the early twentieth century and reflect the historic evolution of the dwelling.

- A. should be maintained in their original design and with like materials and detailing.
- B. between existing piers should be filled in as traditional for the type and style of the house, generally with wood lattice framed panels; with brick of color, tooling, and mortar color appropriate for the period of the house, or with decorative vertical wood boards. Lattice panels should be set back from the fronts of the piers by at least two inches.
- C. should not be concealed with concrete block, plywood panels, corrugated metal, or wood shingles.
- D. if masonry, should be cleaned, repaired, or repointed according to masonry guidelines.
- E. of brick may be painted or stuccoed only if the brick and/or mortar is mismatched or inappropriately repaired. Dark reds, browns or other traditional brick colors are appropriate paint colors for foundations.

14. GARAGES, SHEDS AND OUTBUILDINGS

Outbuildings that contribute to a property's historic and architectural character should be preserved and maintained if classified as a contributing structure. These buildings should be repaired with materials and details to match the originals.

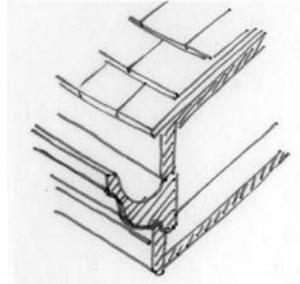
- A. should be maintained if classified as a contributing structure.
- B. should be repaired with materials to match the original in design, dimension, profile and texture. Any overhead garage door that mimics the original wood door in design, dimension, profile and texture will be considered. The use of glass-and-wood doors is more appropriate than doors without glass.

15. GUTTERS

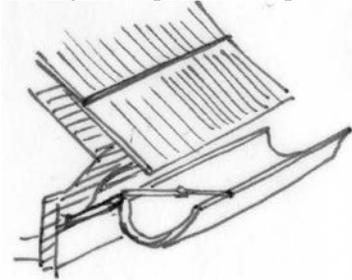
Deteriorated gutters and downspouts can cause extensive damage to building materials and detailing. Existing gutters should be regularly cleaned and maintained. If new gutters are required, half-round designs are the most historically accurate.

- A. of boxed or built-in type should be repaired rather than replaced if possible.
- B. of hang-on type should be half-round rather than "K" or ogee.
- C. should have downspouts located away from significant architectural features on the front of the building.
- D. should provide proper drainage through use of downspouts and splash blocks to avoid water damage to the building.

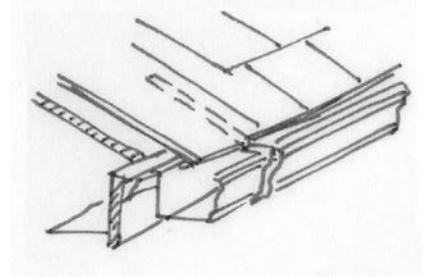
GUTTERS: Illustrations



Built-in gutter (preserve if possible)



Half-round gutter preferred



Ogee ("K") gutter- not preferred

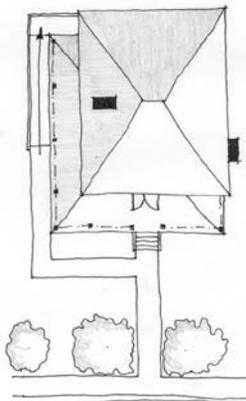
16. HANDICAPPED ACCESS RAMPS

Handicapped ramps are sometimes needed to provide access for those with disabilities. Handicapped access ramps are best at the rear or sides of buildings that are not visible from the street. Ramps of wood construction are most appropriate for Barrington's historic residential areas and the railings should be of simple designs and compliment the original porch railing in design and detailing.

- A. preferably should be located at the rear or sides of buildings. If a handicapped ramp must be placed on the front of a building it should be of wood construction rather than of brick, concrete, or metal. Brick, concrete, and metal ramps are more acceptable at rear and sides of buildings not visible from the street.
- B. of wood construction should be simple in design and configuration using square balusters in the railing and simple square handrails. Ramps may also be designed to match the original porch railing in materials, dimensions, and detailing. Ramps should be painted to match the color of the porch railing or the match the overall paint color of the building.
- C. should be screened with landscaping of low shrubbery to provide concealment.

RAMPS: Illustrations

Appropriate ramp installation at side or rear of house



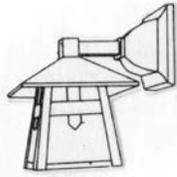
17. LIGHTING

Many dwellings retain original exterior light fixtures at the porch ceiling or adjacent to the main entrance. Distinctive tinted globes and the "box" shaped fixtures for Craftsman houses are part of a building's character and should be maintained or replaced with like. New light fixtures should be appropriate for the style and period of the dwelling to which they are added. Light fixtures with simple designs and detailing are preferred to large, ornate colonial or "Williamsburg" style fixtures. Many companies now provide light fixtures based upon historic designs and the addition of these types of period fixtures is appropriate and encouraged. Lighting used to accent sidewalks, vegetation and/or facades is appropriate and should be subtle and subdued. Low voltage, ground mounted landscape lighting is recommended and light fixtures in trees are discouraged.

- A. fixtures introduced to the exterior of a structure should be from the period of the structure, or simple in design. Light fixtures should be added only at traditional locations such as porch ceilings and flanking entrances.
- B. for security, such as flood lights, should be mounted in front yards rather than directly on a house's eaves or soffits. Low voltage (25-50W) floodlights mounted in the front yard to illuminate the front of the house are acceptable.
- C. for sidewalks and front yards should be of small footlights rather than post-mounted fixtures. Post-mounted fixtures are less appropriate but may be installed if desired.
- D. fixtures to be avoided are carriage lamps or any fixtures of a period earlier than the building such as colonial or "Williamsburg" designs.

LIGHTING: Illustrations

A typical Craftsman wall light



A simple Folk wall light



An appropriate footlight



Hanging Craftsman porch light



18. MECHANICAL SYSTEMS

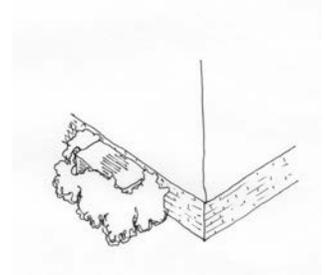
Air conditioning and heating units often require condensers and other units to be placed on the exterior. These units are typically located adjacent to, or within a few feet of the building. Heating and cooling units should be placed at rear or sides of buildings not readily visible from the street. The placement of these units at the front of buildings is not appropriate and should be avoided.

- A. should be located where they are not visible from the street.
- B. if visible on the sides of buildings, should be screened with shrubbery or fencing.
- C. such as window air-conditioners should be located in windows on the rear or sides of buildings and should not result in the removal or replacement of the original window sash or surround.
- D. such as solar energy panels should be located on rear sections of the roof, behind dormers or gables or other areas not visible from the street.
- E. satellite dishes should never be installed in front yards or where visible in side yards.

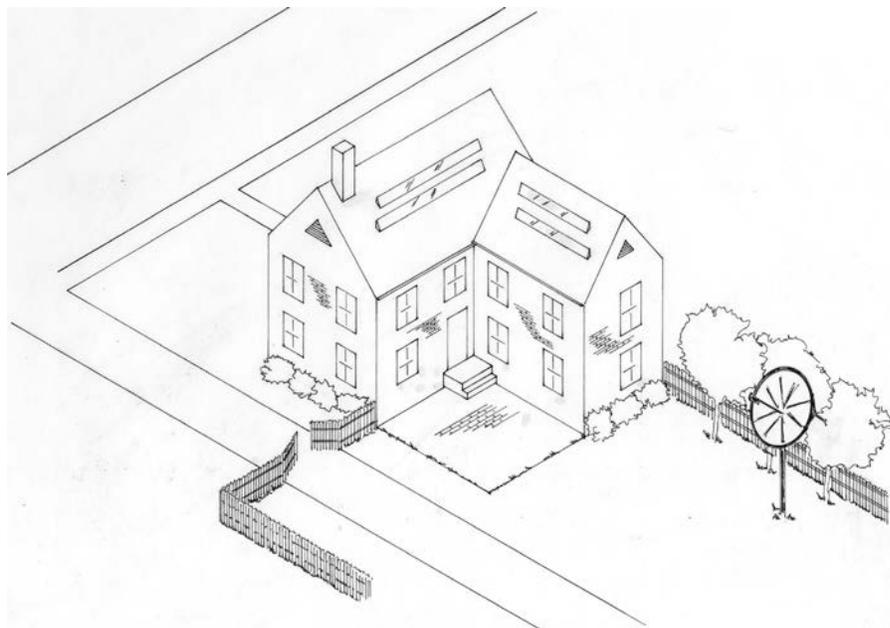
- F. electrical and gas meters and other mechanical equipment should be located on the rear or side of a building.

MECHANICAL: Illustrations

Screen air conditioning units



Appropriate placement of solar panels and satellite dish at rear of house



19. MOVING BUILDINGS

Moving buildings is generally considered a last resort to demolition and should be considered only if other means of preservation have failed. If a pre-1939 dwelling within or outside a locally designated district is threatened with demolition, it is appropriate to move the dwelling to one of the District's vacant lots for rehabilitation. A building moved into the Historic District should respect the front and side yard setbacks, orientation, and foundation heights of the neighboring properties.

- A. into the Historic District may be appropriate if compatible with the District's architectural character through style, period, height, scale, materials, setting, and placement on the lot.
- B. that contribute to the historic and architectural character of the District should be avoided unless demolition is the only alternative.

20. NEW CONSTRUCTION (Residential Buildings)

The vacant lots and noncontributing sites in the Historic District provide development opportunities for new construction. New construction is welcome when it is compatible with properties along its block or street. The general approach to new construction is for it to be compatible with adjacent buildings. Compatible means reinforcing typical features that buildings display along the block such as similar roof forms, materials, window and door sizes and placement, porch size and location, and foundation heights. Replications or reproductions of historic designs are also appropriate for the Historic District.

It is important that new construction coordinate with the dwellings found along its specific block and within the Historic District in general. A design that may be appropriate along one block may not work for a different block. For example, a new dwelling compatible with Craftsman designs may not be appropriate for a block where Victorian era architecture predominates and vice versa. Each new building has to be evaluated within its exact location and surroundings.

- A. of primary buildings should maintain, not disrupt, the existing pattern of surrounding historic buildings along the street by being similar in:
1. **shape.** Variations of rectangular and square forms are most appropriate for the District;
 2. **scale (height and width).** Most of the Historic District has zoning that restricts new construction to no more than two-and-one-half stories. This maximum height would be appropriate for most blocks within the Historic District, where residential building heights vary from fifteen to thirty-nine feet. On blocks that have predominately one-story buildings, new construction of one-to two stories would be more appropriate;
 3. **roof shape and pitch.** Roof slope ratio for new construction should be a minimum of 6:12 (6:12 refers to six inches of rise to 12 inches of run in measuring slopes). Roof forms of gable, hipped, and gambrel variations are most appropriate. Flat and mansard roof forms are discouraged. Roof pitches should be appropriate for the architectural style of the proposed structure;
 4. **orientation to the street.** Most buildings in the Historic District have their fronts oriented towards the street and this characteristic should be maintained by new construction;
 5. **location and proportion of porches, entrances, windows and divisional bays.** Porches should have roof forms of gable or shed design and at least cover the entrance. Porches that extend partially or fully across the main facade are recommended. Porch columns and railings should be simple in design in square or round shapes. Columns should be a minimum of six inches and a maximum of ten inches square or in diameter. Porch railings should have balusters which are no more than two inches square or in diameter. New windows should meet the requirements of this document and as approved by the Architectural Review Commission. In addition, new windows should be of rectangular sash designs whose proportions on the main facade should not exceed three-to-one in a height-to-width ratio or be any less than two-to-one in height-to-width (two-to-one proportions are preferred). In general, no horizontal sash, casement, or awning type windows should be placed on the fronts of buildings. The use of plastic or "snap-in" muntins (window pane dividers) is not permitted. For more information on window requirements, see Section 36 "Windows";

6. **foundation height.** Height of foundations should be a minimum of six inches and a maximum of two feet above grade unless a true architectural raised foundation is proposed for architectural purposes;
7. **floor-to-ceiling heights.** Floor to ceiling heights should not exceed ten feet and not be less than eight feet;
8. **porch height and depth.** Porch heights should be consistent with those of adjacent buildings. Porch depths should be a minimum of four (4) feet but between five (5) feet and six (6) feet is preferred;
9. **material and material color.**

Foundations: Most foundations are of brick, stone, poured concrete or concrete block. Poured concrete is more appropriate than concrete block. If concrete block is used, a stucco wash is recommended to provide a smooth surface. Rough-faced concrete block is also an acceptable foundation material.

Roofs: Existing roofs in the District are of architectural asphalt or fiberglass shingles, metal, tile and slate of varying patterns. For new construction, materials that are compatible in type, color, and texture with the District should be used. Shingles should be of a dark color, predominantly dark gray or brown. Wood shingles or shakes for new construction are also acceptable. All flashing should be metal.

Brick Dwellings: If the new construction is of brick, the brick should closely match typical mortar and brick color tones found in the District and along the block. White or light mortars provide too much contrast with typical dark brick colors and should be avoided.

Frame Dwellings: If the new construction is of frame, the preferred exterior material is horizontal wood siding with a four (4) inch exposure. Wider exposures up to six (6) inches may be considered depending on the architectural style of the house. Smooth, clear wood siding and trim is the recommended and preferred material. Other materials that are designed to mimic wood siding and trim with like design, dimension, profile and texture will be considered as they become available. The use of vinyl and/or aluminum siding and trim material or other siding and trim material with faux wood grain or other characteristics that do not mimic wood are not permitted in the District. Vertical board siding is not appropriate for new construction on the fronts or sides of buildings.

10. **details and texture.** The width of window and door trim should be at least three and one-half inches. Roof eaves should have a minimum depth of eight inches. New construction should have details consistent with adjacent historic buildings including eave widths, soffit details, and fascia boards.
11. **placement on the lot.** Front- and side yard setbacks should respect the setbacks found along the block on which the building is sited. Building setback from the street should never be less than the minimum adjoining setback. Building position should take into account existing vegetation.

- B. of secondary buildings such as garages, carports, and other outbuildings should be:
1. smaller in scale than the primary building;
 2. simple in design but reflecting the general character of the primary building. For example, use gable roof forms if the main dwelling has a gable roof, hipped roof forms if the main dwelling has a hipped roof etc.;
 3. located as traditional for the street, near an alley or at the side of the dwelling, not close to or attached to the primary building; and
 4. compatible in design, shape, materials, and roof shape to the main building.
 5. smooth, clear wood siding and trim is the recommended and preferred material. Other materials that are designed to mimic wood siding and trim with like design, dimension, profile and texture will be considered as they become available. The use of vinyl and/or aluminum siding and trim material or other siding and trim material with faux wood grain or other characteristics that do not mimic wood are not permitted in the District
 6. if visible from the street, secondary buildings should have an emphasis on historic designs and detailing. For garages, wood paneled doors are more appropriate than paneled doors of aluminum or steel. Wood paneled overhead roll-up doors are widely available and are appropriate for new garages. Other overhead door materials may be considered if they mimic wood overhead doors with like design, dimension, profile and texture.
 7. if carports, these should be located at the rear of buildings. Most readily available carport designs have flat roofs and metal support columns and are not compatible with older building designs. Carports imitative of porte-cocheres (drive-thru wings on historic dwellings) with wood or brick columns, flat roofs and wood construction may be added to sides of dwellings visible from the street.

21. PAINT AND PAINT COLORS

Paint colors do not require approval by the ARC. However, it is recommended that paint colors be in keeping with the building's style and period of construction. Avoid loud, garish or harsh colors and bright hues and too many colors on a building. Select where to highlight architectural details based on historic tradition for the building's type and style. Select a high quality oil based or exterior latex paint and expect to have to paint every eight to fifteen years depending on sunlight exposure, regular gutter and downspout maintenance, and wood surface condition.

- A. do not require review and approval by the Architectural Review Commission.
- B. should be of high quality to provide the longest lasting finish possible.
- C. should be kept to no more than three colors per building. The simpler the architectural style of the building, the simpler the paint colors.
- D. should be darker for the body of the house and lighter for window trim, door trim, and accents such as porches and eave brackets.

Recommended Paint Colors:

Folk, ca. 1855 – ca. 1880:

These dwellings were also typically painted in light or pale shades with either matching or contrasting trim.

Body – White, Off White, Pale Yellow, Light Gray, Pale Blue, Pale Green

Trim and Accents – White, Dark Green, Black

Italianate, ca. 1860 – ca. 1900:

Warm earth tones were commonly used for this style of dwelling with trim in the same color only in a slightly darker or lighter shade.

Body – Cream, Browns, Grays, Greens

Trim and Accents – Cream, Browns, Grays, Greens

Queen Anne and Folk, ca. 1880-ca. 1915:

These dwellings had a diversity of colors using contrasts for the body and trim.

Body - Tan, Red, Green, Brown

Trim and Accents - Darker colors such as Dark Olive, Salmon Red, Dark Brown.

Craftsman and Tudor Revival, ca. 1905-ca. 1940:

Darker colors again such as earth tones. Dark stains also used in place of paint. Brick, stone, stucco and concrete generally left unpainted.

Body – Brown, Green, Gray, Dark Red

Trim and Accents – Both light and dark trim colors such as Reds, Browns, Greens and shades of Tan.

Colonial Revival, ca. 1900-ca. 1940

Light colors predominate

Body – Yellow, Light Gray, Light Blue

Trim and Accents – White, Off-White, Cream

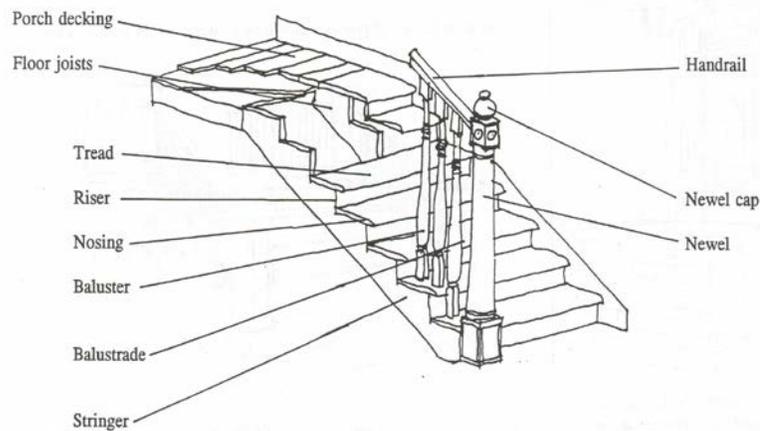
22. PORCHES

Porches are one of the most important defining characteristics of many of Barrington's historic residences. Original porch designs should be repaired and maintained. Those on the fronts of residences should not be enclosed with wood or glass panels. The screening of porches on the fronts of residences is appropriate. If replacement of porch elements is necessary, use materials to closely match those which exist in design, dimension, profile and texture. If the original porch is missing, construct a new porch based upon photographic or physical evidence, or base the design upon historic porches of District buildings built at the same period and in a similar architectural style. In some cases, turn of the century dwellings had their original porches removed and replaced with Craftsman/Bungalow style porches in the 1920s and 1930s. These porches reflect the historical evolution of the property and may be significant features in their own right.

- A. on front and side facades should be maintained or recreated in their original configuration and with original detailing. Replacement of original materials is permitted provided the new material matches the original in design, dimension, profile and texture.
- B. and their details should be retained/restored or replaced with the replacement of missing parts, such as columns, cornices, posts, railings, balusters, decorative molding and trimwork, to match the original materials in design, dimension, profile and texture.
- C. on the fronts of dwellings should not be enclosed.

- D. on the rear and sides of dwellings may be enclosed when not visible from the street and if the height and shape of the porch roof is maintained.
- E. should have wood steps, not brick or concrete, for buildings with wood porch floors. Although not as appropriate, brick or concrete steps may be added to front porches.
- F. may be screened if the structural framework for the screen panels is minimal and the open appearance of the porch is maintained. Wood framing for the screen panels is preferred, however, anodized or baked enamel aluminum frames are also acceptable. The use of raw "mill finish" aluminum framing is not appropriate.
- G. on the fronts of dwellings may be partially enclosed with lattice panels for privacy. This should not exceed more than one-third of the porch area in order to maintain its traditional open appearance. Lattice panels should be added behind, not in front, of porch columns and railings. Lattice in both horizontal/vertical patterns and diagonal patterns are appropriate for the District.
- H. trellises of wood for plants are appropriate for front porches.
- I. should have wood tongue and groove flooring running perpendicular to the facade (unless the original floor is concrete).
- J. should not have brick floors or steps.

PORCHES: Illustrations

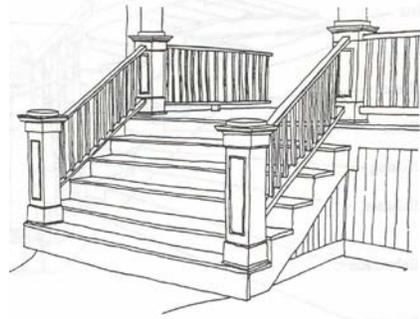


Common porch terms and location.

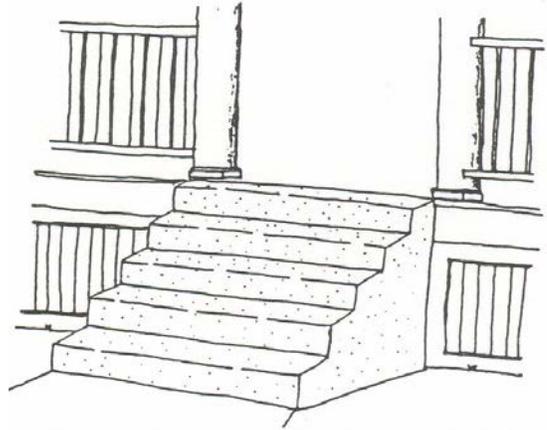
Screening should be added **BEHIND** columns, railings and other distinctive porch features



Replacement porch stair posts and railings should match style of porch



Front steps for wood porches should be of wood rather than concrete



23. PORCH COLUMNS AND RAILINGS

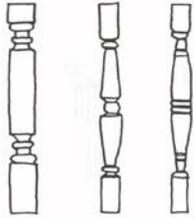
Original porch columns and railings should be retained/restored or replaced with materials to match the original in profile, dimension, design and texture. If the original porch columns and railings are missing, replacement porch columns and railings should be appropriate for the dwelling's architectural style and period.

- A. should be maintained or recreated. Replacement of original materials is permitted provided the new material matches the original design, dimension, profile and texture.
- B. often deteriorate first at the bottom next to the porch floor. If this is the case, consider sawing off the deteriorated area and replacing this section rather than replacing the entire column.
- C. of aluminum, wrought iron, or other modern materials are not appropriate for front porches. These types of columns are not preferred but are acceptable for porches at the rear of a dwelling or for side porches that are not visible from the street.
- D. on front porches should be rebuilt in historic designs if the original columns and railings are missing. For Queen Anne and Folk Victorian styles of the turn of the century, milled porch columns are appropriate. These porch columns are generally 8' in height and have widths and depths of 4" to 6". For Craftsman porches round, square, or tapered square wood columns are best. These columns should fit the porch height and if round, have diameters of no less than 6" and no more than 14". Square columns or tapered square columns should be a minimum of 8" and a maximum of 14" in depth and width.
- E. on front porches may require new newel posts. Porch newel posts in historic designs are readily available and are generally 4' high and measure 4" in width and depth. The "ball top" newel post is best for Queen Anne or Folk Victorian porches. The "V-Groove" post is acceptable for Queen Anne, Folk Victorian and Craftsman dwellings. Avoid the "French Gothic" post (steeply pointed) which is not as appropriate for the houses in the Historic District.
- F. on front porches may require new balusters for the railing. Porch balusters (also called spindles) are readily available in historic designs. The milled spindles measuring 3' high and 2" in diameter are best for Queen Anne and Folk Victorian dwellings. Balusters or spindles which are smaller than 2" in diameter are not appropriate for exterior porches. Square balusters which are 3' high and 2" to 3" in width and depth are best for Craftsman dwellings. Overall balusters should not be less than 1 ½ "square.

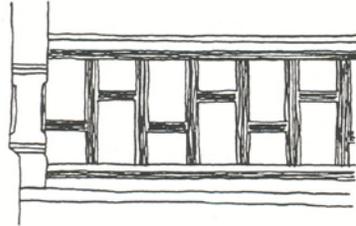
PORCH, RAILINGS & COLUMNS: Illustrations

NOTE: For Folk homes that are not strongly influenced by other styles, square balusters are often used. For Craftsman and Tudor Revival styles, a railing-height solid wall is more commonly used than an open porch railing.

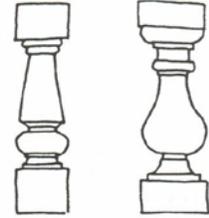
Typical Victorian balusters



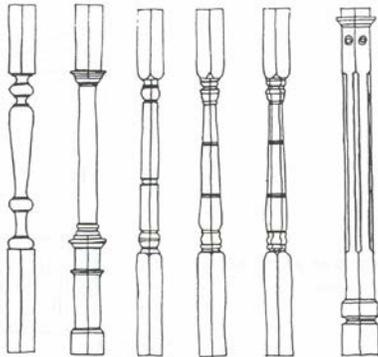
Queen Anne Fretwork balustrade



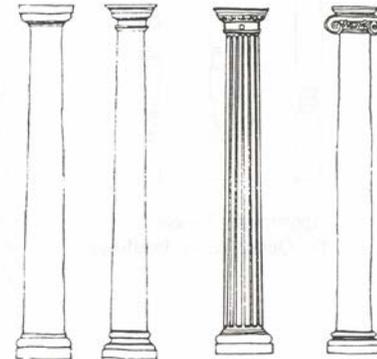
Typical Colonial Revival & Italianate balusters



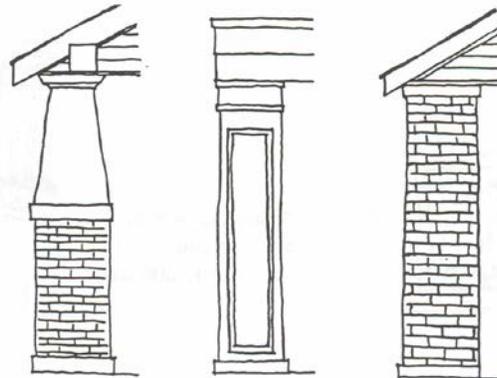
Typical Columns: Queen Anne



Typical Columns: Colonial Revival and Similar



Typical Columns: Craftsman



24. ROOFS

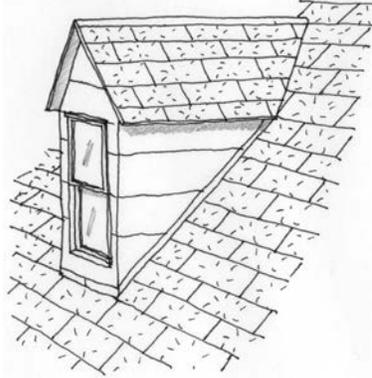
Original roof forms should be preserved and maintained. If additions to roofs are desired such as new dormers or skylights, these should be added at rear or side rooflines that are not visible from the street. Historic roof materials such as metal standing seam, clay tiles or slate should be repaired or replaced with like material. If repair or replacement of like material is no longer available, replacement with architectural asphalt or fiberglass roof materials is appropriate.

- A. should be maintained in their original size, shape and pitch, with original features (such as cresting, chimneys, finials, cupolas, etc).
- B. may be re-roofed with architectural asphalt or fiberglass shingles if the use of the original material is not readily available (color should be dark, predominantly dark gray or brown; red or green may also be appropriate for Craftsman period dwellings).

- C. should not have new dormers introduced on front facades but may have dormers added on rear facades or secondary facades where not noticeably visible, if the added dormers are in keeping with the character and scale of the structure.
- D. should not have skylights, decks, or balconies added where visible from the street.

ROOFS: Illustrations

Dormers are appropriate on rear or sides if not visible from street



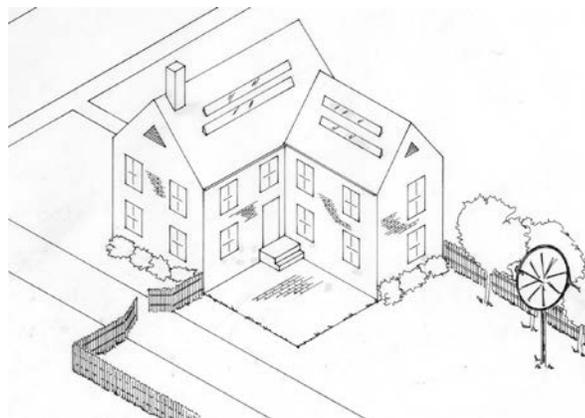
25. SATELLITE DISHES

The use of satellite dishes for television reception is increasing in popularity. Traditionally, the C-Band dishes have been ten to eleven feet in span but in recent years the smaller seven and one-half foot dishes have become more commonplace. Also popular are the 18" DBS satellite dishes which are much smaller in size and easier to mount than the larger dishes. Satellite dishes may be installed in a locally designated district if they are sited in rear yards or along side yards which are not readily visible from the street. As non-historic features, the smaller dishes are preferred to the larger dishes.

- A. should never be installed in front yards or where readily visible in side yards.
- B. in the smaller sizes are more appropriate than the large, full view dishes.
- C. should be mounted as low to the ground as possible and the use of fencing or landscaping to screen the dish from view is recommended.

SATELLITE DISHES: Illustrations

Satellite dishes should be located in rear yards, not visible from the street



26. SCREENS

Screen panels for porches and screen doors for entrances are appropriate if the structural framework is kept to a minimum to retain the open appearance of the porch and the visibility of the historic door behind the screen door.

- A. may be added to porches if the structural framework for the screen panels is minimal, and the open appearance of the porch is maintained, and the panels are situated behind porch columns, posts, and railings.
- B. screen doors if new, should be consistent with the style of the house, be of wood or other material that mimics wood in design, dimension, profile and texture, and full-view or with structural members aligned with those of the original door. Refer to illustrations in Section 8 "Doors".
- C. screen windows should be wood or baked-on or anodized aluminum and fit within the window frames, not overlap the frames. Other materials that mimic wood or aluminum in design, dimension, profile and texture may also be considered.

SCREENS: Illustrations

Screening should be added BEHIND important architectural elements of porch



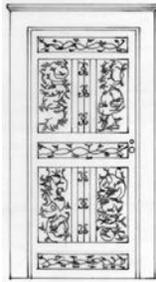
27. SECURITY DOORS AND WINDOWS

The installation of security doors and windows is appropriate within some parameters. Statistically, intruders primarily enter through rear or side doors or windows which are not visible from the street. The installation of security doors and window bars on these facades is appropriate. Although less appropriate on main facades, security doors may be installed if they are full view design or have minimal structural framing that allow viewing of the historic door behind it. Ornate security doors with extensive grillwork or decorative detailing are not appropriate for entrances on the primary facade. Window bars on primary facades should also be as visually unobtrusive as possible.

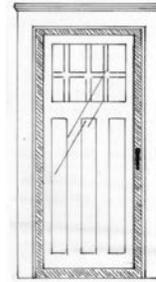
- A. are not appropriate for primary facades but are for rear and side facades not readily visible from the street.
- B. should be full-view, without ornate or decorative grillwork.

- C. security bars on windows should not be located on windows readily visible from the street.

SECURITY DOORS AND WINDOWS: Illustrations



Inappropriate



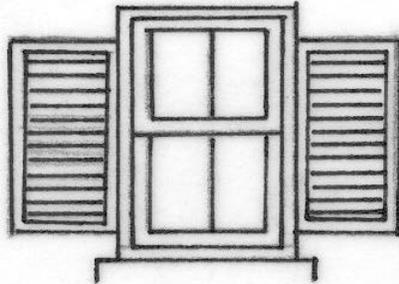
Appropriate

28. SHUTTERS

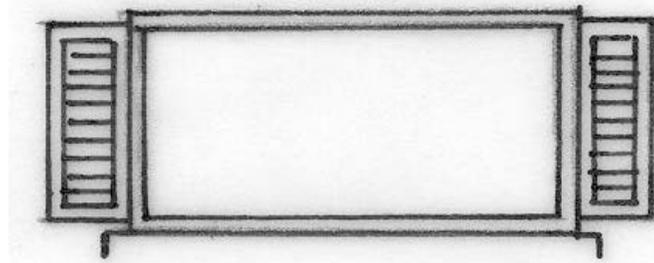
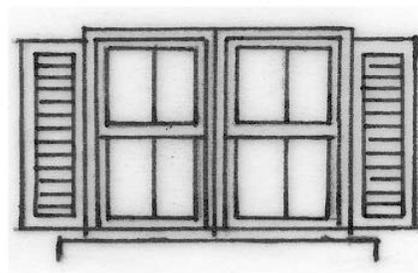
Window shutters were common on houses built at the turn of the century. Shutters had practical uses to block the sun in the summer and to protect windows during storms. With the widespread use of air conditioning in the mid-20th century, window shutters became more ornamental than practical and many original shutters have been removed. Most ornamental shutters available today are not appropriately sized or of the right materials. The addition of new shutters should only be of wood or other material to mimic wood in design, dimension, profile and texture and with dimensions which match the window opening.

- A. should not be added unless the building originally had them, the shutters are of louvered construction or another historical style, and the shutters will fit the window opening (so that if closed, they would cover the window opening).
- B. of vinyl construction are not permitted. These shutters generally have exaggerated wood graining, which is not convincing or compatible with historic dwellings.
- C. must be installed with appropriate mounting and closure hardware and installed in the proper plane on the window casing as if operable (note: shutters do not actually have to be operable). Flush mounted wall installations shall not be permitted.

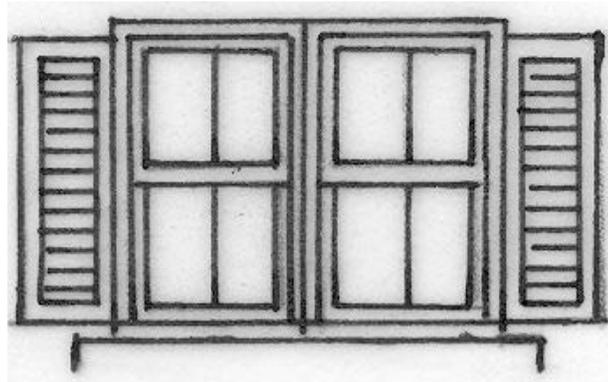
SHUTTERS: Illustrations



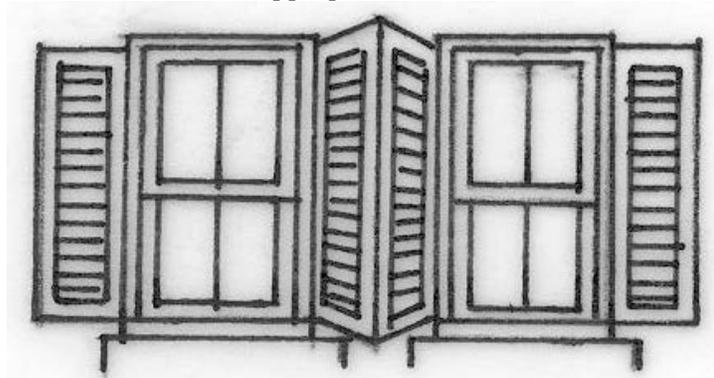
Inappropriate Shutters – would not fit windows if closed



Inappropriate Shutters



Inappropriate Shutters



Appropriate Shutters would cover windows when closed

29. SIDING

Exterior wood siding and shingles are essential components defining a building's architectural character. The concealment of original wood siding with vinyl, aluminum, or other synthetic sidings is not appropriate. These siding materials do not successfully imitate the original wood siding dimensions or texture. There are also potential structural problems inherent in the use of these materials on historic buildings.

- A. smooth, clear wood siding is the recommended and preferred siding material. Other siding materials that are designed to mimic wood siding with like design, dimension profile and texture will be considered as they become available. The use of vinyl and/or aluminum siding and trim material or other siding and trim material with faux wood grain or other characteristics that do not mimic wood are not permitted in the District.
- B. wall shingles original to the building may be replaced. If replacement is necessary, the new shingles should match the original in design, dimension profile and texture (this includes decorative wood shingles of Victorian buildings as well as wood or asphalt shingles of Craftsman houses).
- C. should not be concealed beneath artificial or synthetic siding. The application of materials such as vinyl or aluminum over wood siding is not appropriate and their use is prohibited.
- D. the removal of synthetic sidings such as aluminum, asbestos, and vinyl and the restoration of the original wood siding is highly encouraged.
- E. siding exposure must match the original siding exposure. If no original siding exists then a four (4) inch exposure is appropriate or the correct exposure for the architectural style of the structure.

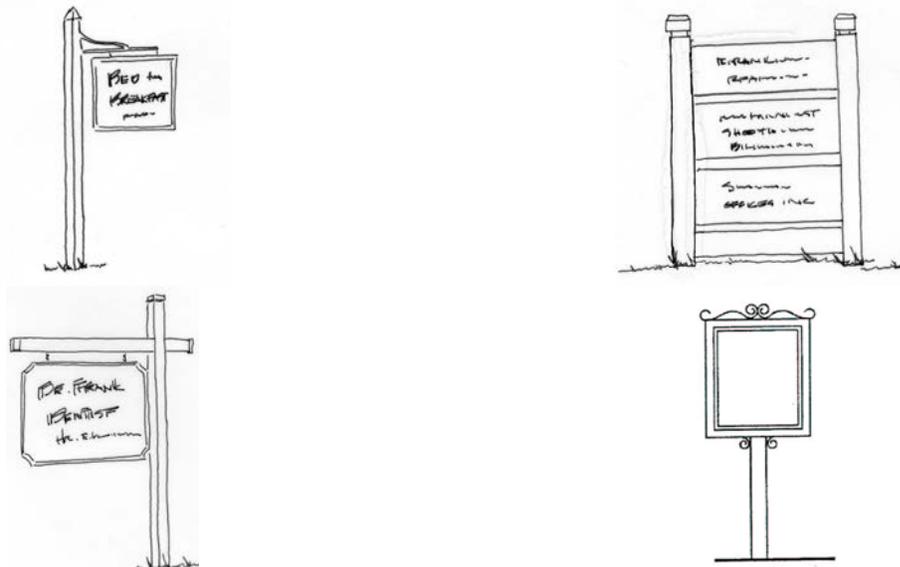
30. SIGNS

Signage in the Historic District include signs for commercial buildings along the northern edge of the District, and governmental, institutional, and office uses. Signs are typically located in front yards about five to ten feet from the public sidewalk. Predominant sign materials are wood and metal.

- A. should be in conformance with Village of Barrington Zoning Ordinance Chapter 4, Part IV "Signs".
- B. should be kept to minimum with preferably a maximum of two per commercial business or church.
- C. for churches may be freestanding or attached to the face of the building. For commercial buildings signs may be projecting, on windows, or affixed to the face of the building.
- D. should not cover or obscure architectural features, should be unobtrusive as possible and should be of materials compatible with the structure.
- E. should not be illuminated with visible bulbs or luminous paints, but with remote sources.
- F. should be of traditional materials such as finished wood, painted metal, brass, or bronze. Plywood, plastic, or unfinished wood are not permitted.
- G. type and lettering should reflect the 19th and early 20th century character of the District.
- H. should have no more than three colors and use colors that coordinate with the building colors.
- I. for mounting on masonry walls should be anchored into the mortar, not the masonry.
- J. exceeding a dimension of two feet by three feet are discouraged, except for institutional uses, which may have a larger area.

SIGNS: Illustrations

Appropriate Historic Signs

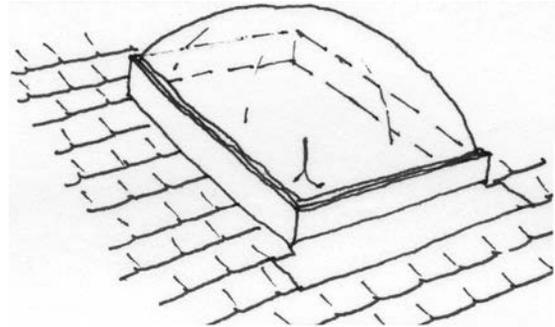


31. SKYLIGHTS

The addition of skylights can make the use of upper floor space or attic space more practical. The installation of skylights is appropriate as long as they are placed on rear roof lines, behind gables or dormers, or otherwise not visible from the street. Skylights that are flush with the roofline or lay flat are appropriate, those with convex or "bubble" designs are not appropriate.

- A. are permitted on rear roof section where not visible from the street.
- B. should be flat or flush with the roofline, not convex or "bubble" designs.

SKYLIGHTS: Illustrations



Appropriate Flat Skylight

Inappropriate "Bubble" Skylight

32. SOLAR COLLECTORS

Solar energy collectors or panels are appropriate if placed at unobtrusive locations. Surface mounted collectors are usually located at the roofline and consist of flat panels that absorb the sun's rays. Freestanding collectors are a series of pole-mounted panels sited next to the building. Solar collectors are appropriate as long as freestanding panels are sited in rear yards and the roof panels are on rear facades or side facades not visible from the street.

- A. and solar energy panels are permitted on rear roof sections where not visible from the street.
- B. which are freestanding should be located at rear yards or on side facades not visible from the street. If side yard locations are visible (such as a corner lot), freestanding panels may be installed if they are effectively screened by fencing or landscaping.

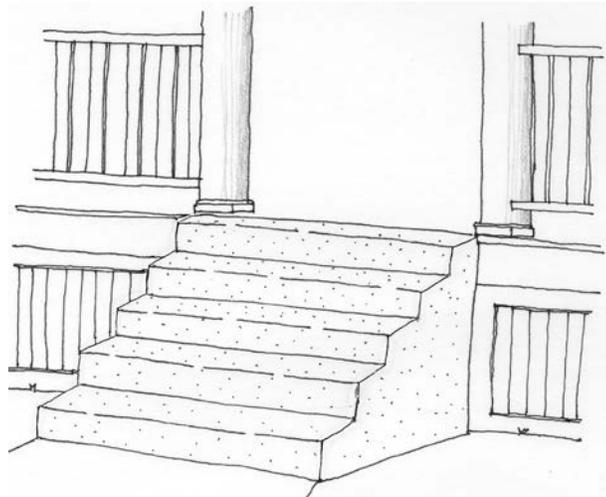
33. STAIRCASES AND STEPS

On most older dwellings in Barrington, wood steps were built leading to the front porch. On a few homes, brick or stone was also sometimes used in step construction. Steps of poured concrete were used in the early 20th century for Craftsman, Tudor Revival, and Colonial Revival dwellings. Since steps are readily exposed to the sun and rain they require continual maintenance and repair. In many cases, the original wood steps have been removed and replaced with steps of brick or concrete. Replacement of deteriorated wood steps with wood is preferable to replacement with brick, concrete, or wrought iron.

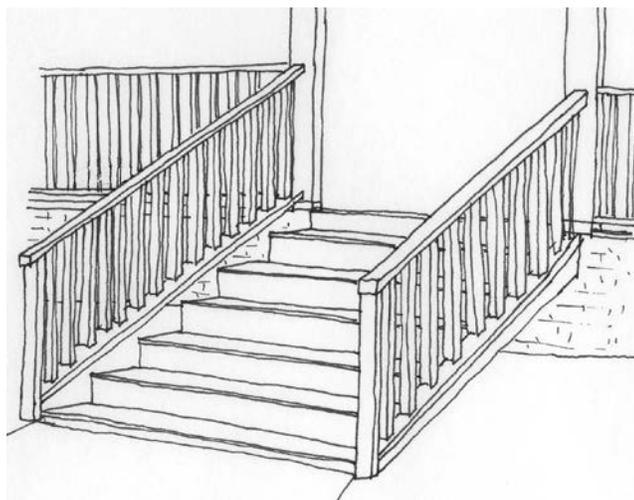
- A. original to a dwelling may be replaced with materials with like design, dimension, profile and texture.

- B. leading to porches with wood floors should be replaced with wood rather than brick or concrete. The addition of brick, concrete, or wrought iron steps for front porches of wood is discouraged but acceptable in some cases.
- C. if new, should be designed with “graspable” handrails, when required by building code, that are no larger than 1-1/2” in diameter. These handrails can be attached to existing historic staircases when required to meet codes.
- D. “brick like” paver materials designed to resemble traditional bricks may be used on noncontributing structures for staircases and steps leading to landings or entranceways. These materials are not permitted for covered porches. Other pavers not designed to resemble traditional bricks are not permitted for these applications.
- E. bluestone materials may be used for staircases and steps leading to landings or entranceways on certain types of architecture for both contributing and noncontributing structures such as Colonial Revival or as specifically approved by the ARC.

STAIRCASES AND STEPS: Illustrations



Concrete should only be used to replace concrete steps and should not be prefabricated



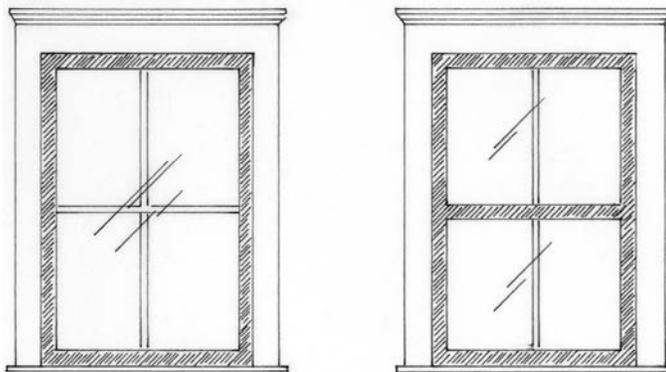
Use wood to replace wooden steps- match original detailing

34. STORM WINDOWS AND DOORS

The installation of storm windows and doors can help in lowering energy costs and are appropriate for older dwellings. Storm windows should be full-view design or have the central meeting rail at the same location as the historic window behind it. Storm windows and doors of dark anodized aluminum or baked enamel are preferred to those of shiny (“mill finish”) aluminum, which is not permitted in the District.

- A. should be of full-view design and of baked-on enamel or anodized aluminum in dark colors. Storm windows may also have central meeting rails that match the location of the meeting rail on the window it covers.
- B. should fit within the window and door frames, not overlap the frames. Mill finish aluminum can also be painted to match the window trim.

STORM WINDOWS AND DOORS: Illustrations



Storm windows should either be full-view or have a center rail in line with the center rail of the window. Use wood or dark anodized aluminum; no raw (“mill finish”) aluminum.

35. SWIMMING POOLS

The installation of swimming pools in rear yards is appropriate as long as they are fenced or screened in some manner. Pools should be located in rear yards and screened from street view by fencing or landscaping.

36. WINDOWS

The Historic District boasts a wide variety of historic wood windows in various sash designs and sizes. It is preferred for original windows on contributing structures to be maintained or repaired to match the original design. However, original windows may be replaced with new historically dimensioned windows as approved by the Architectural Review Commission. New windows should be replaced in original openings only in the appropriate style and pattern as the original windows or windows appropriate for the architectural style of the structure. If only one or two windows on the front of the house are deteriorated, consider removing good condition windows from the rear or sides of the house to add in their place. Original window openings should not be covered or concealed. They should also not be enclosed for the addition of smaller windows. New windows should not be added on the fronts of dwellings but may be added at the rear or sides if not visible from the street. The addition of window screens to historic windows is appropriate as long as the screens are full-view design or have a central meeting rail to match the historic window.

- A. should be maintained in their original location, size and design and with their original numbers of panes (muntin pattern).

- B. should not be added to primary facades or to secondary facades where visible.
- C. should be repaired rather than replaced, but replacement is permitted as described above.
- D. should not have snap-on, flush or tape muntins. These muntins are much thinner than the muntins on historic windows and do not look authentic. The muntin configuration of original windows should be respected when adding, repairing or replacing windows. Only true divided lite (TDL) or simulated divided lite (SDL) configurations are permitted.
- E. should not have security bars where visible from the street.
- F. window materials other than wood and/or aluminum clad wood may be considered in the future as window technology advances. However, all alternate window materials are subject to review and approval by the Architectural Review Commission.
- G. all new and/or replacement windows must be historically dimensioned regardless of material. Windows without historic dimensions will not be approved for use on any structure in the Historic District, whether contributing or non-contributing. A manufacture specification sheet and/or section detail with all dimensions must be provided at the time of review.