

# CHAPTER 4

## REGULATIONS OF GENERAL APPLICABILITY

### PART II: OFF-STREET PARKING AND LOADING

#### 4.10 Off-Street Parking and Loading

##### 4.10-1 Purpose

##### 4.10-2 Application

##### 4.10-3 General Requirements for Off-Street Parking Areas

##### 4.10-4 Parking Restrictions for Residential Dwellings

##### 4.10-5 Specifications for Off-Street Parking Areas

##### 4.10-6 Off-Site Parking

##### 4.10-7 Collective/Shared Parking

##### 4.10-8 Stacking Requirements for Drive-Through Facilities and Car Washes

##### 4.10-9 Computation of Required Spaces

##### 4.10-10 Off-Street Parking Requirements

##### 4.10-11 Mobility-Impaired Accessible Parking

##### 4.10-12 Loading Requirements

##### 4.10-13 Specific Loading Requirements

#### 4.10 Off-Street Parking and Loading

##### 4.10-1 PURPOSE

The purpose of this Chapter is to prevent, or alleviate, the congestion of public streets and to promote public safety and welfare by establishing minimum requirements for the off-street parking and loading of motor vehicles in accordance with the use to which property is subject.

##### 4.10-2 APPLICATION

All uses, buildings and structures established after the effective date of this Ordinance shall provide accessory parking and loading facilities in the amount and manner as specified herein.

##### 4.10-3 GENERAL REQUIREMENTS FOR OFF-STREET PARKING AREAS

###### A. Previously Issued Building Permits

Where a Building Permit has been issued prior to the effective date of this Ordinance, and construction has begun within one (1) year of such issuance and diligently pursued thereafter, parking and loading facilities may be provided in the amounts required for the issuance of the building permit regardless of any different amounts required by this Ordinance.

###### B. Change of Use

Whenever the existing use of a building or structure shall hereafter be changed to a new use, parking or loading facilities shall be provided as required for such new use. However, if the building or structure was erected prior to the effective date of this Ordinance, additional parking or loading facilities are mandatory only in the amount by which the requirements for the new use would exceed those for the existing use under the parking and loading provisions of this Ordinance.

**C. Uses Established After the Effective Date of this Ordinance**

When the intensity of use of any building, structure or premises is increased through addition of dwelling units, gross floor area, seating capacity, or other units of measurement specified herein, parking and loading facilities shall be provided for such increase in intensity of use except as allowed in Subsection (2) above.

**D. No Reduction of Existing Parking and Loading Facilities**

Required accessory off-street parking facilities in existence on the effective date of this Ordinance, and located on the same lot as the building or use served, shall not hereafter be reduced below the requirements of this Ordinance except by variation.

**E. Additional Parking and Loading Facilities**

Nothing in this Ordinance shall be deemed to prevent the voluntary establishment of off-street parking or loading facilities to serve any existing use or building, provided such parking or loading facilities meet all regulations of this Ordinance governing the location, design and operation of such facilities.

**F. Special Northwest Highway Condemnation and Landscaping Requirements**

Special Northwest Highway Condemnation Setback and Landscaping Requirements. In the event that condemnation and taking by a public agency of property abutting Northwest Highway necessitates the removal and relocation of a parking area, such relocated parking area may encroach into required front and corner side yards, subject to the following conditions:

11. The encroachment of the relocated parking area shall be the minimum amount necessary, as determined by the Zoning Official.
12. The relocated parking area shall be accompanied by a landscape buffer or elements, as approved by the Zoning Official.

**4.10-4 PARKING RESTRICTIONS FOR RESIDENTIAL DWELLINGS**

**A. General Parking and Storage Restrictions**

Notwithstanding any other provision of this Ordinance, the following restrictions shall apply:

1. Only one (1) driveway shall be permitted to serve each lot or parcel except that circular driveways shall be permitted on lots with at least one hundred (100) feet of frontage. The two portions of the driveway shall be at least fifty (50) feet apart, as measured from the interior edges measured at the property line; and the width of each portion of the driveway extending from the roadway edge of pavement to the property line shall not exceed twelve (12) feet except that a one (1) foot by one (1) foot flare may be added on each side of the driveway at the edge of the pavement on each portion of the driveway.
2. No parking shall be permitted within front or corner side yards, except on a driveway which does not exceed twenty-four (24) feet in width or which does not exceed the total width of the garages, whichever is greater. The portion of the driveway extending from the edge of the roadway pavement to the property line shall not exceed twenty-four (24) feet in width except that a two (2) feet by two (2) feet flare may be added on each side of the driveway at the edge of the pavement. Maximum

driveway width shall not apply to driveways and/or parking pads accessed from an improved rear alley.

3. A parking pad may also be permitted for properties accessed from an improved rear alley.
4. The minimum driveway width for all new driveways shall be nine (9) feet as measured from outer edge to outer edge. For ribbon style driveways, the minimum width of each wheel path shall be three (3) feet as measured from outer edge to outer edge.
5. No new shared driveways shall be established for single-family residential uses.
6. Any vehicle may be stored within an enclosed building that meets the requirements of all applicable ordinances.
7. Vehicles engaged in loading or unloading or vehicles parked in connection with a use where current work is being done on the adjoining premises shall be permitted.
8. No stored or parked vehicle shall be occupied or used for human habitation.
9. No vehicle which is in a state of externally visible disrepair or partial construction shall be stored or parked outdoors in a residential zone, but shall be stored or parked only within an enclosed building meeting the requirements of all applicable regulations.
10. The full extents of any new or altered driveway, wheel path of a ribbon driveway or parking pad shall be constructed of a hard surface material, (concrete, asphalt, brick pavers or other approved surface) at the following specifications:
  - a. Concrete – Minimum two (2) inch stone base with four (4) inches of 6-bag mix with No. 10 wire mesh, or equivalent.
  - b. Asphalt – Minimum six (6) inch compacted stone base (Pea Gravel not acceptable) with two (2) inches of compacted asphalt as surface.
  - c. Brick Pavers – As determined by the Zoning Official.
  - d. Other Surfaces – As determined by the Zoning Official.
11. For existing nonconforming driveways see Section 10.2-B.

#### **B. Exterior Parking and Storage of Passenger Vehicles**

No more than three (3) Passenger Vehicles shall be parked outside of a fully enclosed garage on a residential lot for more than six (6) continuous hours on any weekday (Monday – Friday) without a permit for additional parking issued by the Zoning Official. Such permit shall not be valid for more than thirty (30) days. In granting a permit, the Zoning Official shall find that:

1. The request is necessary and convenient to the use and enjoyment of the premises;
2. The applicant has demonstrated a need for the requested parking; and
3. The granting of a parking permit will not have an adverse impact on the public health, safety and welfare.

A decision to grant or deny a parking permit may be appealed in accordance with Section 3.18 of this Ordinance.

#### **C. Exterior Parking of Recreational or Commercial Vehicles**

Recreational and Commercial Vehicles are permitted to be stored or parked in residential districts subject to and only in compliance with the following standards:

1. Maximum Permitted Size and Number of Vehicles. Only Recreational and Commercial Vehicles may be stored or parked on the exterior of any property within

any residential district, provided that the combined total of all permitted Recreational Vehicles, Commercial Vehicles and/or Occupational Vehicles (as described in paragraph D below) stored or parked on the exterior of a property within any such residential district shall not exceed two (2) such vehicles.

2. Setback Requirements. Permitted Recreational and Commercial Vehicles which do not exceed the maximum number of vehicles limitations may be stored or parked within the rear yard of a residential lot, but not within the required side yard setback (as extended from the front property line to the rear property line) for the applicable district, and further provided that any permitted Recreational or Commercial Vehicles shall be stored or parked on a driveway or other approved hard surfaces. Recreational and Commercial Vehicles stored or parked in any rear yard within a residential district that abuts an adjacent side yard shall be set back an amount equal to the required side yard setback for the adjacent district.
3. Screening Requirement. All permitted Recreational and Commercial Vehicles shall be screened from adjacent properties and from any public right-of-way by an approved fence or wall which is six (6) feet in height or by an approved hedge which is at least six (6) feet in height.
4. Under no circumstances shall any such permitted Recreational Vehicles be stored or parked in the front yard for the purpose of seasonal preparation for more than forty-eight (48) continuous hours during any ten (10) day period.
5. The storage or parking area utilized for Recreational or Commercial Vehicles shall be maintained in a neat and orderly manner.
6. The requirements of this Subsection 4.10-4(C) shall be effective on April 20, 2007, provided, however, all Recreational and Commercial Vehicles stored or parked in residential districts prior to said date shall be subject to the restrictions and requirements of this section beginning April 20, 2008 and thereafter.

#### **D. Exterior Parking of Occupational Vehicles**

Occupational Vehicles are permitted to be stored or parked in residential districts, but subject to and only in compliance with the following standards:

1. Maximum Permitted Size and Number of Vehicles. A maximum of one (1) Occupational Vehicle is permitted to be stored or parked on the exterior of any property within any residential district without the screening specified in Section 4.10-4(D)(3). If any additional Occupational Vehicle is stored or parked on the exterior of any such property, such one (1) additional Occupational Vehicle shall be fully screened from adjacent properties and from any public right-of-way in accordance with Section 4-10-4(D)(3) below. The overall maximum combined number of permitted Recreational, Commercial, and/or Occupational Vehicles permitted to be stored or parked on the exterior of any property within any residential district regardless of screening, is two (2) such vehicles.
2. Setback Requirements. Permitted Occupational Vehicles may be stored or parked within any yard in a residential district provided that they are stored or parked on a driveway or other approved hard surfaces and are not within any required side yard setback (as extended from the front property line to the rear property line) for the district. Permitted Occupational Vehicles stored or parked in any yard within a

residential district that abuts an adjacent side yard shall be set back an amount equal to the required side yard setback for such adjacent districts.

3. Screening Requirement. When two permitted Occupational Vehicles are stored or parked on the exterior of any property in any residential district, then one (1) vehicle shall be fully screened from adjacent properties and from the public right-of-way by an approved fence or wall which is six (6) feet in height or by an approved hedge which is at least six (6) feet in height.
4. The storage or parking area utilized for such vehicles shall be maintained in a neat and orderly manner.
5. The requirements and restrictions of this Subsection 4-10-4(D) shall be effective on April 20, 2007, provided, however, all Occupational Vehicles stored or parked in residential districts prior to said date shall be subject to the restrictions and requirements of this Section beginning April 20, 2008 and thereafter.

**E. Restricted Vehicles**

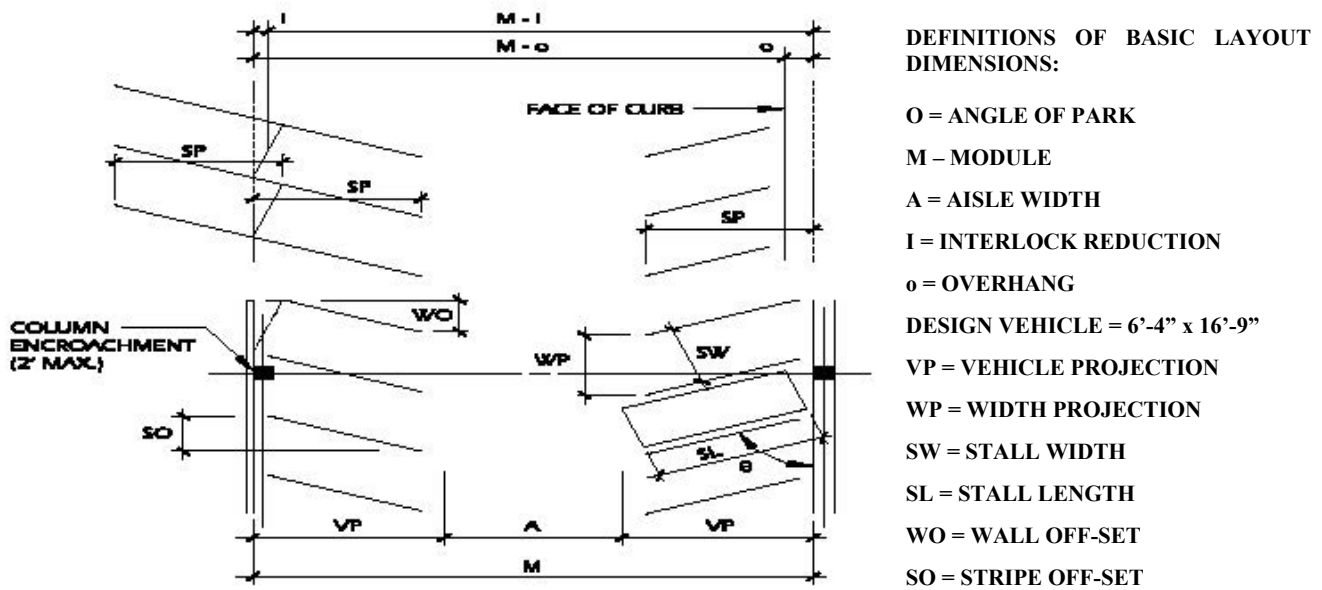
1. Restricted vehicles shall not be stored or parked in any residential district unless being loaded or unloaded or unless being actively used in a permitted activity, and under no circumstances for longer than forty-eight (48) hours during any seven (7) day period.
2. The requirements and restrictions of this Subsection 4.10-4(E) shall be effective on April 20, 2007, provided, however, all restricted vehicles stored or parked in residential districts prior to said date be subject to the restrictions and requirements of this Section beginning April 20, 2008 and thereafter.

**4.10-5 SPECIFICATIONS FOR OFF-STREET PARKING AREAS**

**A. Minimum Size of Stalls and Aisles.**

The required off-street parking space shall be at least nine (9) feet in width and at least eighteen (18) feet in length, exclusive of access drives or aisles, ramps, columns, or office or work areas. The width of required parking spaces may be reduced to eight and one-half (8 ½) feet for Low Turnover Parking Spaces. Each space shall have a vertical clearance of at least eighty-four (84) inches. Where a wall or high curb lies adjacent to a side of a parking space, an additional one-half (1/2) foot shall be added to the width of the space. Where parallel parking spaces are permitted, stall length shall be twenty (20) feet and aisle width shall be a minimum of twelve (12) feet. Stall and aisle size requirements for angled parking shall be as specified on Table 4.10-5 (Required Parking Dimensions) and Figure 4.10-5 (Parking Size Diagrams).

**FIGURE 4.10-5** Parking Size Diagrams



**TABLE 4.10-5** Required Parking Dimensions

Angle of Parking	Stall Width		Module	Vehicle Projection	Aisle	Interlock	Overhang	Wall Offset	Stripe Offset
	9'0"	8'6"							
	WP	WP	M	VP	A	I	O	WO	SO
0	9'-0"	NA	43'-0"	NA	25'-0"	NA	NA	NA	NA
45	12'-9"	12'-0"	49'-6"	17'-5"	14'-8"	3'-2"	1'-9"	10'-8"	16'-6"
50	11'-9"	11'-1"	51'-3"	18'-0"	15'-3"	2'-11"	1'-11"	9'-5"	13'-10"
55	11'-0"	10'-5"	52'-6"	18'-5"	15'-8"	2'-7"	2'-1"	8'-3"	11'-7"
60	10'-5"	9'-10"	54'-0"	18'-9"	16'-6"	2'-3"	2'-2"	7'-2"	9'-6"
65	9'-11"	9'-5"	55'-3"	18'-11"	17'-5"	1'-11"	2'-3"	6'-1"	7'-8"
70	9'-7"	9'-1"	56'-6"	19'-0"	18'-6"	1'-6"	2'-4"	5'-0"	6'-0"
75	9'-4"	8'-10"	57'-6"	18'-10"	19'-10"	1'-2"	2'-5"	3'-10"	4'-5"
90	9'-0"	8'-6"	61'-6"	17'-9"	24'-0"	0'-0"	2'-6"	1'-0"	0'-0"

Notes:

- 1 Add 1 ft to stall width where adjacent to walls, columns and other obstructions to door opening and turning movement.
- 2 9'0" stalls shall be used except that 8'6" stalls may be used for the following uses: Residential, Professional Office and Industrial.
- 3 Add one ft to stall width for stalls next to curbs and islands to reduce trip hazard.
- 4 Angles of parking between 76 and 89 degrees not permitted.
- 5 Dimensions may be interpolated for angles between 45 and 75
- 6 Deduct 1 ft from aisle, and corresponding module, for parking in structures or where guides or curbs are provided at least 25% of the stalls.
- 7 All commercial parking spaces to be "double-line" striped for 8'-6" wide parking stall only.
- 8 Light poles and columns may protrude into a parking module a maximum of 2 ft combined as long as they do not impact more than 25 % of the stalls. For example, either a one ft encroachment on both sides of the aisle, or a 2 ft encroachment on one side only, is acceptable.
- 9 Interlock reductions cannot be taken where there is encroachment by columns, light poles or other obstructions for more than 25% of the stalls in the bay.
- 10 All dimensions rounded to the nearest inch.
- 11 Aisles and corresponding modules are for two way traffic flow for 90 degree parking and one way traffic flow for angled parking between 45 and 75 degrees.
- 12 For two-way traffic flow and angled parking, a minimum 24 ft aisle is required. For parallel parking along a two-way drive, a minimum aisle of 25 ft. is required.
- 13 Parallel parking stall length is 20'0".
- 14 Parking space overhangs shall not encroach into any required landscape areas or buffers.

## **B. Access**

Each required off-street parking space shall open directly upon an aisle or driveway in such a width and design as set forth below to provide safe and efficient means of vehicular access to such parking space. The full width of an alley, but no portion of a street, may be used in computing such aisle or access area. All off-street parking facilities shall be designed with appropriate means of vehicular access to a street or alley.

1. Except at Single-Family residences, parking facilities shall be designed so that vehicle ingress and egress is by forward motion of the vehicle.
2. Where entry/exit is not controlled, provide a minimum of one entry lane and one exit lane for every five-hundred (500) parking spaces.
3. Where entry is controlled by gates and/or parking access/revenue control procedures, adequate queuing space (as documented by a queuing analysis prepared by a qualified traffic engineer or parking consultant) shall be provided so that vehicles will not queue for entry into the parking facility into any public right of way, nor across any public or private pedestrian sidewalk or designated path of travel.
4. Adequate sight distances for recognition of pedestrians on sidewalks or designated pedestrian paths and for recognition of traffic conditions on street shall be provided for vehicles entering or exiting the facilities.
5. “Stacked”, “buddy” or “tandem” parking spaces are not acceptable to satisfy off-street parking space requirements; and all such required off-street parking spaces shall be immediately accessible from a drive aisle except for (1) attended valet parking; or (2) ground-level vehicle storage areas for approved Automobile Sales facilities.
6. Ramps and Access Roadways.  
Straight non-parking roadways, lanes and ramps shall be eleven (11) feet zero (0) inches wide, with an additional two (2) feet of clearance on both sides to walls or obstructions (such as light or sign poles, landscaping, etc). Parking control equipment lanes shall have a minimum clear width of nine (9) feet six (6) inches. Curved segments of non-parking roadways, lanes and ramps shall have a minimum radius of the inside curb of fifteen (15) feet and a width of thirteen (13) feet six (6) inches for a single lane or the inside lane of a two lane roadway, and a minimum width of eleven (11) feet zero (0) inches for the outside lane, plus two (2) feet of additional clearance to walls or obstructions on both sides.
7. Circulation.  
Vehicular/pedestrian conflicts shall be minimized by providing driving aisles in the preferred direction of pedestrian flow from parking area to destination; where this orientation is not feasible, designated crosswalks shall be provided across driving aisles, rather than encouraging pedestrians to walk between parked vehicles.

## **C. Location**

Off-street parking spaces may be provided on surface lots, underground, under a building, or in parking structures. This provision shall not be interpreted to prevent the parking of vehicles on driveways, which may cross through a required front yard in those districts.

#### **D. Surfacing and Striping**

All off-street parking areas, including around the perimeter and interior landscaped islands, and access driveways shall be fully improved with a hard surface pavement as required by the Village Building Code. Striping of the surface to define each parking space shall be provided and visible at all times, except for single- and two-family residences.

#### **E. Slope**

No area of any parking lot or structure, other than a parking lot or structure accessory to a single-family or two-family dwelling, excluding access ramps, shall have a slope in excess of six (6) percent.

A minimum slope of one (1) percent, with two (2) percent preferred, shall be provided for drainage to grate inlets, catch basins or curb inlets. Drainage shall be in compliance with Village of Barrington stormwater management regulations.

Ramps or slopes in parking areas shall not exceed six (6) percent, with five (5) percent preferred. Parking control equipment lanes shall not be placed on any slope exceeding three (3) percent. Ramps or slopes in non-parking areas, but not providing access thereto, shall not exceed fourteen (14) percent slope, with ten (10) percent slope preferred. Where the slope of a ramp serving passenger vehicle parking areas exceeds ten (10) percent, transition slopes shall be provided at both ends, at one-half the main slope and with a minimum length of twelve (12) feet. For ramps serving Commercial Vehicles, including but not limited to buses and single-unit or semi-trailer trucks, the slope shall not exceed six (6) percent. Where an exit ramp terminates at or near a property line, a public or private walk or a designated pedestrian pathway, an additional transition space of twenty (20) feet at a maximum slope of three (3) percent shall be provided to allow driver and pedestrian recognition.

#### **F. Landscaping**

Except for single- and two-family residences, for all parking areas, regardless of size, a four (4) foot landscaped divider strip shall be placed between all public sidewalks and parking areas. Additional landscape requirements for off-street parking and off-street loading areas are provided in Chapter 4, Part III (Landscape and Tree Preservation Regulations). Metal parking barriers are prohibited.

#### **G. Illumination**

All off-street parking lots or parking structures shall be illuminated, except for single- and two-family residences and existing multi-family developments without illumination. The level of illumination at any point in the parking lot or structure shall not be less than one (1) foot-candle measured at the pavement. All lighting used shall be shielded or otherwise optically controlled so as to provide non-glare illumination in a manner that does not create a nuisance on adjacent property. All lighting shall be compliant with the regulations as provided in Section 4.9 (Site Lighting).

#### **H. Use**

No motor vehicle repair work shall be permitted in conjunction with or upon open parking facilities, except that emergency repairs and on-site oil change services are exempt.



#### **4.10-6 OFF-SITE PARKING**

Where off-site parking is allowed as a permitted or special use in an applicable zoning district, such off-site parking may be permitted, subject to the applicable regulations of this Ordinance. Required parking spaces shall be provided by one (1) or more of the following means, in descending order of feasibility:

- A.** On-site, or if not possible;
- B.** Off-site, within four hundred (400) feet of the nearest entrance of the building, or if not possible;
- C.** In the B-R, B-4 and B-5 Zoning Districts only, within a reasonable distance of the building, in the judgment of the Zoning Official, or if not possible;
- D.** In the B-4 & B-5 Zoning Districts only, payment of a fee-in-lieu of parking spaces, subject to the following:
  - 1. Persons requesting to pay a fee-in-lieu of parking spaces shall obtain a variation in accordance with Chapter 3, Section 3.16 of the Zoning Ordinance, except that persons requesting to pay a fee-in-lieu of parking spaces as part of a Planned Development shall obtain an exception in accordance with Chapter 11, Section 11.6 of the Zoning Ordinance.
  - 2. The fee shall be \$10,000 per parking space.
  - 3. The B-1 zoning district, fee-in-lieu shall only be considered in cases where there is a reasonable expectation that public parking facilities exist or will exist that could reasonably serve the proposed development.

Parcels used for off-site parking shall be of common ownership as that of the principal use, or secured by a long-term lease. If secured by a long-term lease, the use of a parcel for accessory parking shall be bound by covenants that run with the land, recorded in the Office of the Recorder of Deeds in Cook or Lake Counties.

#### **4.10-7 COLLECTIVE / SHARED PARKING**

Nothing in this Chapter shall be construed to prevent the collective provision of off-street parking facilities for two (2) or more uses, subject to the following conditions:

- A.** A Zoning Certificate for such collective/shared parking use shall be issued pursuant to Chapter 3 of this Ordinance.
- B.** The total of such off-street parking spaces, supplied collectively, shall not be less than the sum of the requirements for the uses separately, except as follows:
  - 1. The total required number of off-street spaces is permitted to be determined by written administrative decision by the Zoning Official subject to approval by the Board of Trustees.
  - 2. Where the total required number of off-street spaces is determined by written administrative decision of the Zoning Official, and approved by the Board of Trustees, the determination shall apply only to the uses as proposed at the time of administrative review.
  - 3. Where the total required number of off-street spaces is determined by written administrative decision, such determination shall no longer apply should a change of use or an increase in the intensity of use occur.

- C. All other applicable requirements of this Chapter are met.
- D. A legal instrument establishing that the parking spaces shall be maintained so long as the uses requiring parking are in existence or unless the required parking is provided elsewhere in accordance with this Chapter and approved as a special use, in accordance with Section 3.15 (Special Uses). Special use approval shall be subject to execution by all parties so providing parking collectively. The instrument shall be filed with the application for a Zoning Certificate.

#### **4.10-8 STACKING REQUIREMENTS FOR DRIVE-THROUGH FACILITIES AND CAR WASHES**

Every Drive-Through Facility shall provide a minimum of seven (7) on-site stacking spaces per facility, plus one (1) stacking space per waiting/service area provided, unless otherwise provided in this Section 4.10-8. The stacking spaces shall be designed to be entirely located on-site and not interfere with the ingress and egress of the off-street parking provided on the site.

- A. Restaurant Drive-Through Facilities

Stacking spaces at a rate of eight (8) parking spaces per drive-through lane shall be provided. The stacking spaces shall be designed to be entirely located on-site, shall not interfere with the ingress or egress for the parking provided on the site and shall not impede traffic on adjacent roadways. The length of each stacking space shall be twenty-two (22) feet.

- B. Pharmacy Drive-Through Facilities

Stacking spaces at a rate of three (3) parking spaces per drive-through lane shall be provided. The stacking spaces shall be designed to be entirely located on-site, shall not interfere with the ingress or egress for the parking provided on the site and shall not impede traffic on adjacent roadways. The length of each stacking space shall be twenty-two (22) feet.

- C. Financial Institution Drive-Through Facilities

Stacking spaces at a rate of eight (8) parking spaces for the first drive-through lane and three (3) parking spaces for each additional lane shall be provided. The stacking spaces shall be designed to be entirely located on-site, shall not interfere with the ingress or egress for the parking provided on the site and shall not impede traffic on adjacent roadways. The length of each stacking space shall be twenty-two (22) feet.

- D. Car Wash Stacking

Stacking spaces at a rate of seven (7) spaces for each wash rack plus one (1) parking space for each employee during the peak shift shall be provided. Stacking shall be isolated from the parking and other circulation by a median and shall not impede traffic on adjacent roadways. The length of each stacking space shall be twenty-two (22) feet.

#### 4.10-9 COMPUTATION OF REQUIRED SPACES

##### A. Basis for Computation

The total number of required parking spaces shall be based upon the parking requirement stated for the principal use of the zoning lot in question, except that where residential uses and non-residential uses occupy the same zoning lot, the number of parking spaces for the residential uses shall be calculated separately from, and in addition to, the parking requirements for the non-residential uses.

##### B. Fractional Spaces

When determination of the number of required parking spaces results in the requirement of a fractional space, any fraction shall require one (1) additional parking space.

##### C. Bench Seating

In Places of Public Assembly in which patrons or spectators occupy benches, pews, or other similar seating facilities, each twenty-two (22) inches of such seating facility shall be counted as one (1) seat for the purpose of determining the requirement for off-street parking facilities under this Ordinance, except that when the structure has no design capacity the maximum number present at any one time shall govern.

##### D. Employee Designation

For purposes of parking requirements, full and part-time employees are treated alike for the computation of required off-street parking spaces.

#### 4.10-10 OFF-STREET PARKING REQUIREMENTS

The parking and loading requirements are set forth as follows:

<b>Residential Uses</b>	
Convents and Monasteries	1 space for every guest room or dwelling unit
Day Care Home	1 in addition to residence requirement
Dwellings, Multiple Family Studio/1 Bedroom Units 2 Bedroom Units 3 or 4 Bedroom Units 5 or more Bedrooms Units	1 space per dwelling unit 1.5 spaces per dwelling unit 2 spaces per dwelling unit 2 spaces per dwelling unit
Dwellings, Single Family	2 spaces per dwelling unit
Dwellings, Two-Family	2 spaces per dwelling unit
Nursing Homes	1 space per 6 beds, plus 2 spaces per 3 employees
Senior Housing, Assisted Living	1 space for each 5 beds, plus 2 spaces for every 3 employees
Senior Housing, Independent	1.25 spaces per dwelling unit

<b>Institutional Uses</b>	
Cemeteries or Mausoleums	1 for every 2 employees, plus 1 space for every 5 seats for any place of assembly
Convent or Monastery	1 space for every guest room or dwelling unit
Hospital	1 space for every 5 beds, plus 1 spaces for every 3 employees

Places of Public Assembly	1 space for every 4 seats in the main auditorium, sanctuary, nave or similar place of assembly and other rooms (gymnasiums, classrooms, offices) which are to be occupied simultaneously
Offices, Government	4 per 1000 sq. ft. of gross floor area, plus 4 per vehicle bay
Public/Private Utility Buildings and Structures	1.67 spaces per 1000 sq. ft. of gross floor area
Primary School, Private Primary School, Public	1 space for each classroom, plus 2.5 spaces per 1000 sq. ft. of area devoted to offices
Secondary School, Private Secondary School, Public	1 space for each classroom, plus 2.5 spaces per 1000 sq. ft. of area devoted to offices, plus 1 space for every 6 students based on maximum enrollment

<b>Cultural/Entertainment Uses</b>	
Commercial Amusement Center	3.3 spaces per 1000 sq. ft. of gross activity area
Community Centers	5 spaces per 1000 sq. ft. of gross activity area
Cultural Facilities	3.3 spaces per 1000 sq. ft. of gross floor area
Libraries	1.33 spaces per 1000 sq. ft. of gross floor area
Nature Preserves/Conservation Areas	2 spaces plus 1 per every ½ acre
Places of Public Assembly	1 space for every 4 seats in the main auditorium, sanctuary, nave or similar place of assembly and other rooms (gymnasiums, classrooms, offices) which are to be occupied simultaneously
Recreation, Active Outdoor	1 space per 3 seats or 1.5 per play station
Recreation, Active Outdoor, Driving Range	1.25 spaces per golf station
Recreation, Active Outdoor, Golf Course	5 spaces per 1000 sq. ft. of gross floor area in any building, plus 1 space for every 2 practice tees in the driving range, plus 4 for each green in the playing area
Recreation, Active Outdoor, Miniature Golf	3 spaces per golf hole
Recreation, Active Outdoor, Outdoor Athletic Fields and Recreation Facilities	3 space per court, 1 per 4 feet of bleacher area or 30 per field, whichever is greater, 2.5 per 1000 sq. ft. of pool surface; 0.1 per 1000 sq. ft. all other recreational areas
Recreation, Indoor	3.3 spaces per 1000 sq. ft. of gross activity area
Recreation, Indoor, Bowling Alley	4 spaces per lane, plus 3.3 spaces per 1000 sq. ft. of restaurant/lounge area
Recreation, Indoor, Child Indoor Amusement Facility	3.3 spaces per 1000 sq. ft. of gross activity area
Recreation, Indoor, Health and Fitness Facilities	3.3 spaces per 1000 sq. ft. of gross floor area
Recreation, Passive Outdoor	2 spaces, plus 1 space for every 1/2 acre.
Taverns	6.67 spaces per 1000 sq. ft. of gross floor area
Theaters	1 space for every 3 seats

<b>Commercial Uses</b>	
Academies	1 space per student and 1 space per instructor of peak classes. If instruction is offered solely to students under the age of sixteen, 5 spaces per 1,000 square feet of net floor area, plus drop-off facilities as determined by the Zoning Official.
Adult Uses	6.67 spaces per 1000 sq. ft. of gross floor area
Ambulance Services	1 space per employee, plus 1 space for every 2 ambulance vehicles
Artisan Use	1.67 spaces per 1000 sq. ft. of gross floor area

<b>Commercial Uses</b>	
Arts and Crafts School	1 space per student of peak classes. If instruction is offered solely to students under the age of sixteen, 5 spaces per 1,000 square feet of net floor area, plus drop-off facilities as determined by the Zoning Official.
Art Studio	3.3 spaces per 1000 sq. ft. of gross floor area
Automobile Fuel Station	2 spaces per pump, plus 5 spaces per 1000 sq. ft. of accessory retail, plus 2 spaces per repair bay, plus 1 space per vehicle used in the conduct of business (such as tow trucks, etc.), plus 1 space for each employee during the peak shift.
Automobile Rental	2 spaces per employee, plus 1 space for each rental vehicle stored on the property at any given time.
Automobile Repair Service	2 spaces per service bay, plus 5 spaces per 1000 sq. ft. of accessory retail
Automobile Dealership/Sales	5 spaces per 1000 sq. ft. of gross floor area, plus 1 spaces for every 10 vehicle display spaces
Bed and Breakfast Establishment	1 space per guest room
Boarding/Rooming House	1 space per guest room
Boat/Recreational Vehicles Sales and Service	3 spaces per 1000 sq. ft. of gross floor area
Car Wash	2 stacking spaces for each self-service bay, plus 7 stacking spaces per automated washing facility, plus 1 space per employee.
Catering Establishment	1 space per employee, plus one space per company vehicle.
Commercial Printing Operation	1 space per employee, plus 3 spaces per 1000 sq. ft. of gross floor area
Day Care Center	3.3 spaces per 1000 sq. ft. of gross floor area
Dry Cleaning/Commercial Laundry Facilities	2 spaces per employee (minimum of 4 spaces required)
Equipment Rental	3 spaces per 1000 sq. ft. of gross floor area
Financial Institution	3.3 spaces per 1000 sq. ft. of gross floor area
Flea Market, Indoor	3.3 spaces per 1000 sq. ft. of gross floor area
Funeral Home	1 space for every 4 seats in each chapel or parlor, plus 1 space for every company vehicle. However, in no event shall the use provide less than 50 spaces
Home Improvement Services	3.3 spaces per 1000 sq. ft. of gross floor area
Hotels or Motels	1 space per guest room, plus 2.5 spaces per 1000 sq. ft. of area devoted to offices and public assembly
Kennels	3.3 spaces per 1000 sq. ft. of gross floor area
Laundromats	0.1 spaces per 1000 sq. ft. of gross floor area
Live/Work Use	2 spaces for each dwelling unit, plus 1.67 spaces per 1000 sq. ft. of gross floor area used for Artisan Uses.
Massage Establishment, Licensed	3 spaces per treatment room.
Mini-Warehouse	5 space minimum plus 0.5 per 1,000 sq. ft. of gross floor area
Nurseries, Building Material Yards and Similar Uses	3 spaces per 1000 sq. ft. of gross floor area
Offices, Medical/Dental	3 spaces per examination room
Offices, Not Elsewhere Classified	3 spaces per 1000 sq. ft. of gross floor area. In B-4 & B-5 Districts, first 1,000 sq. ft. above first floor exempt.
Personal Services Establishment	1.67 spaces per service station.
Photography Studio	3 spaces per 1000 sq. ft. of gross floor area.
Restaurant, Carry-Out Only (no drive-through)	8 parking spaces per 1,000 square feet of net floor area, plus

<b>Commercial Uses</b>	
	1 space for each employee working during peak shift.
Restaurant, Full Service, Sit-Down (no drive through)	10 spaces per 1000 sq. ft. of net floor area, or 1 space for every 4 seats, whichever is greater, plus 1 space for each employee during the peak shift. Spaces provided for curbside pick-up service shall be in addition to the otherwise required number of spaces. Notwithstanding the foregoing parking requirements, in all Zoning Districts, outdoor dining areas shall be exempt or excluded from the net floor area and from the number of seats utilized to calculate the required parking as specified above.
Restaurant, Quick-Serve (no drive-through)	Less than 2,000 square feet of gross floor area – 8 parking spaces per 1,000 square feet of net floor area, plus 1 space for each employee during the peak shift; Greater than 2,000 square feet of gross floor area – 10 parking spaces per 1,000 square feet of net floor area, plus 1 space for each employee during the peak shift. Notwithstanding the foregoing parking requirements, in all Zoning Districts, outdoor dining areas shall be exempt or excluded from the net floor area and from the number of seats utilized to calculate the required parking as specified above.
Retail Assembly/Repair Establishment	3.3 spaces per 1000 sq. ft. of gross floor area
Retail Goods Establishment, Furniture and Appliance Stores	1.67 spaces per 1000 sq. ft. of gross floor area
Retail Goods Establishment, Grocery Store	3.3 spaces per 1000 sq. ft. of gross floor area
Retail Goods Establishment, Not Elsewhere Classified	2.67 spaces per 1000 sq. ft. of gross floor area. In B-R, B-4 & B-5 Districts, first 1,000 sq. ft. exempt
Schools, Professional, Vocational and Tutoring	1 space for each employee, plus 1 space for each 3 students (student occupancy is to be defined as the maximum occupancy of the room or rooms used for school purposes as determined by the Zoning Official).
Shoe Repair Shop	3.3 spaces per 1000 sq. ft. of gross floor area
Shopping Centers	5 spaces per 1,000 sq. ft. of gross floor area
Tailoring Shop	3.3 spaces per 1000 sq. ft. of gross floor area
Travel Agency	3 spaces per 1000 sq. ft. of gross floor area.

<b>Industrial Uses</b>	
Recycling Processing Center	0.5 space per 1000 sq. ft. storage plus 1 per vehicle
Contractor Offices and Facilities	5 spaces per 1000 sq. ft. of gross floor area
Industrial Assembly Use	1 space per 4 employees
Industrial Use, Light	1 space per 4 employees
Laboratory Testing Use	1 space per employee
Operations Facility, Bus/Taxicab	1 space for each 2 employees plus 1 per bus/taxicab
Research/Development Use	1 space per employee
Sewage Treatment Plant, Solid Waste Transfer Facilities	1 space per employee
Transportation Center, Public	1 space per employee
Truck Terminal/Repair	1 space per employee, plus 1 space for every truck
Warehouse/Distribution	1 space per employee, plus one space per company vehicle
Wholesale Goods Establishment	1 space per employee, plus one space per company vehicle

#### 4.10-11 MOBILITY-IMPAIRED ACCESSIBLE PARKING

The Village requires all developments, which serve the public to provide parking facilities, which are accessible to people with disabilities. In accordance with this goal, accessible parking shall be provided for any building or use initiated after the effective date of this Ordinance according to the following minimum requirements and any further requirements hereafter adopted by federal, state or local law. In the event that this Ordinance and the Illinois Accessibility Code differ in regulations, the stricter regulations shall apply.

##### A. Required Spaces

Accessible parking spaces shall be provided at the rate listed below.

Total Off-Street Parking Spaces Provided	Accessible Spaces Required
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1,000	2% of total parking spaces provided
over 1,000	20 plus 1 space for each 50 parking spaces over 1,000

##### B. Design and Layout of Accessible Parking Spaces

The Federal Americans With Disabilities Act and ADA Standards for Accessible Design as well as the Illinois Accessibility Code shall be utilized for design and layout of Accessible Parking Spaces.

#### 4.10-12 LOADING REQUIREMENTS

##### A. Location

The following requirements shall pertain to the location of loading berths.

1. All required loading berths shall be located on the same zoning lot as the use served.
2. All loading berths which abut a residential district or an intervening alley separating a residential district from a commercial or industrial district shall be completely screened by building walls or by a uniformly solid fence, wall, door or densely-planted, mature shrubbery, or any combination thereof, not less than five (5) feet in height.
3. No permitted or required loading berth shall be located within thirty (30) feet of the nearest point of intersection of any two (2) streets.

4. No loading berth shall be located in a required front or side yard, and any loading berth located in a required rear yard may be open to the sky.
5. No pavement or curbing shall be located closer than four (4) feet from any property line unless it can be specifically demonstrated that the intent is to extend the loading to adjoining properties.
6. Details which show the location, dimensions, proposed method of screening, and access to loading facilities shall be submitted and reviewed as part of the site plan review process.

**B. Size**

Unless otherwise specified, a required off-street loading berth shall be at least twelve (12) feet in width by at least forty (40) feet in length, exclusive of aisle and maneuvering space, and shall have a vertical clearance of at least fifteen (15) feet.

**C. Access**

Each required off-street loading berth shall be designed with appropriate means of vehicular access to a street or alley in a manner which will least interfere with traffic movement, and shall be subject to approval by the Zoning Official.

**D. Surfacing**

All open, off-street loading berths shall be surfaced with a bituminous asphalt or concrete material capable of bearing a live load of two hundred (200) pounds per square foot.

**E. Repair and Service**

1. Residential Districts. No motor vehicle repair work or service of any kind shall be permitted in conjunction with loading facilities provided in any residential district.
2. Commercial Districts. No motor vehicle repair work or service of any kind shall be permitted in conjunction with loading facilities provided in commercial districts, except emergency repair service necessary to start vehicles.
3. Industrial Districts. No motor vehicle repair work or service of any kind shall be permitted in conjunction with unenclosed loading facilities provided in an industrial district if such loading facilities are within five hundred (500) feet of a residence district. Washing of accessory vehicles and emergency service required to start vehicles shall be permitted.

**F. Utilization**

Space allocated for off-street loading use shall not, while so allocated, be used to satisfy the space requirements for any off-street parking facilities or portions thereof.

**G. Central/Shared Loading**

Central/shared loading facilities may be substituted for loading berths on the individual zoning lots provided the following conditions are fulfilled:

1. Each zoning lot serviced shall have direct access to the central loading area without cross streets or alleys at-grade.



2. Total off-street loading berths provided shall meet the minimum requirements herein specified based on the sum of the several types of uses served. (Areas of types of uses may be totaled before computing number of loading berths)
3. No zoning lot served shall be more than five hundred (500) feet removed from the central/shared loading area.
4. The tunnel/ramp connecting the central/shared loading area with the zoning lot served shall not be less than seven (7) feet in width and have a clearance of not less than seven (7) feet.

**H. Minimum Facilities**

Uses for which off-street loading facilities are required herein, but which are located in buildings of less floor area than the minimum prescribed for such required facilities, shall be provided with adequate receiving facilities accessible by motor vehicle off any adjacent alley, service, drive, or open space on the same lot.

**4.10-13 SPECIFIC LOADING REQUIREMENTS**

The requirements for off-street loading facilities shall be as follows:

<b>Multiple-Family Residential</b>	
10,000 - 200,000 sq. ft. of gross floor area	1 loading space
Each additional 200,000 sq. ft. of gross floor area	1 loading space <sup>(1)</sup>
<b>Retail and Commercial</b>	
10,000 - 100,000 sq. ft. of gross floor area	1 loading space
Each additional 100,000 sq. ft. of gross floor area	1 loading space <sup>(1)</sup>
<b>Office</b>	
30,000 - 100,000 sq. ft. of gross floor area	1 loading space
Each additional 100,000 sq. ft. of gross floor area	1 loading space <sup>(1)</sup>
<b>Institutional and Recreational</b>	
10,000 - 100,000 sq. ft. of gross floor area	1 loading space
Each additional 100,000 sq. ft. of gross floor area	1 loading space <sup>(1)</sup>
<b>Industrial</b>	
7,000 - 50,000 sq. ft. of gross floor area	1 loading space <sup>(1)</sup>
50,000 - 100,000 sq. ft. of gross floor area	2 loading space <sup>(1)</sup>
Each additional 100,000 sq. ft. of gross floor area	1 loading space <sup>(1)</sup>

<sup>(1)</sup>Each such loading berth shall be not less than twelve (12) feet in width by fifty-five (55) feet in length, exclusive of aisle and maneuvering space, and shall have a vertical clearance of at least fifteen (15) feet.